

# Mann Hall Renovation

09 AUGUST 2024  
PW PROJECT #820937.001

Perkins&Will

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Charlotte, NC 28203  
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CONSULTANTS

STRUCTURAL  
Lynch Mykns Structural Engineers  
301 N. West Street Suite 105, Raleigh, NC 27603

MEP  
Salas O'Brien  
702 Oberlin Road, Raleigh, NC 27605  
License (NC): F-1434

CIVIL  
NV5 Engineers and Consultants  
3300 Regency Parkway Suite 100, Cary, NC 27518

CONTRACTOR  
Holder Construction Group  
6210 Ardrey Kell Road Suite 400, Charlotte, NC 28277

AUDIOVISUAL  
NV5 Engineers and Consultants  
4905 Professional Court, Raleigh, NC 27609

LIGHTING  
Available Light  
5700 Six Forks Road, Suite 203, Raleigh, NC 27609

SUSTAINABILITY  
Ecoimpact Consulting  
8022 Providence Road Suite 500, Charlotte, NC 28277

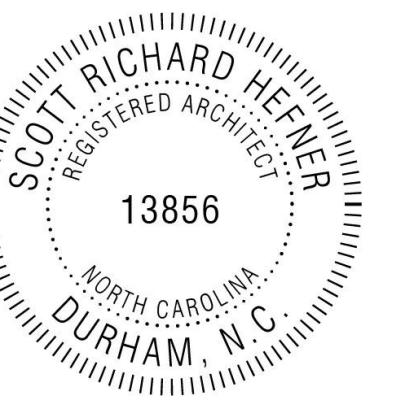
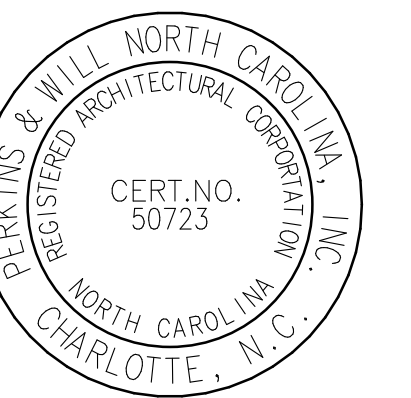
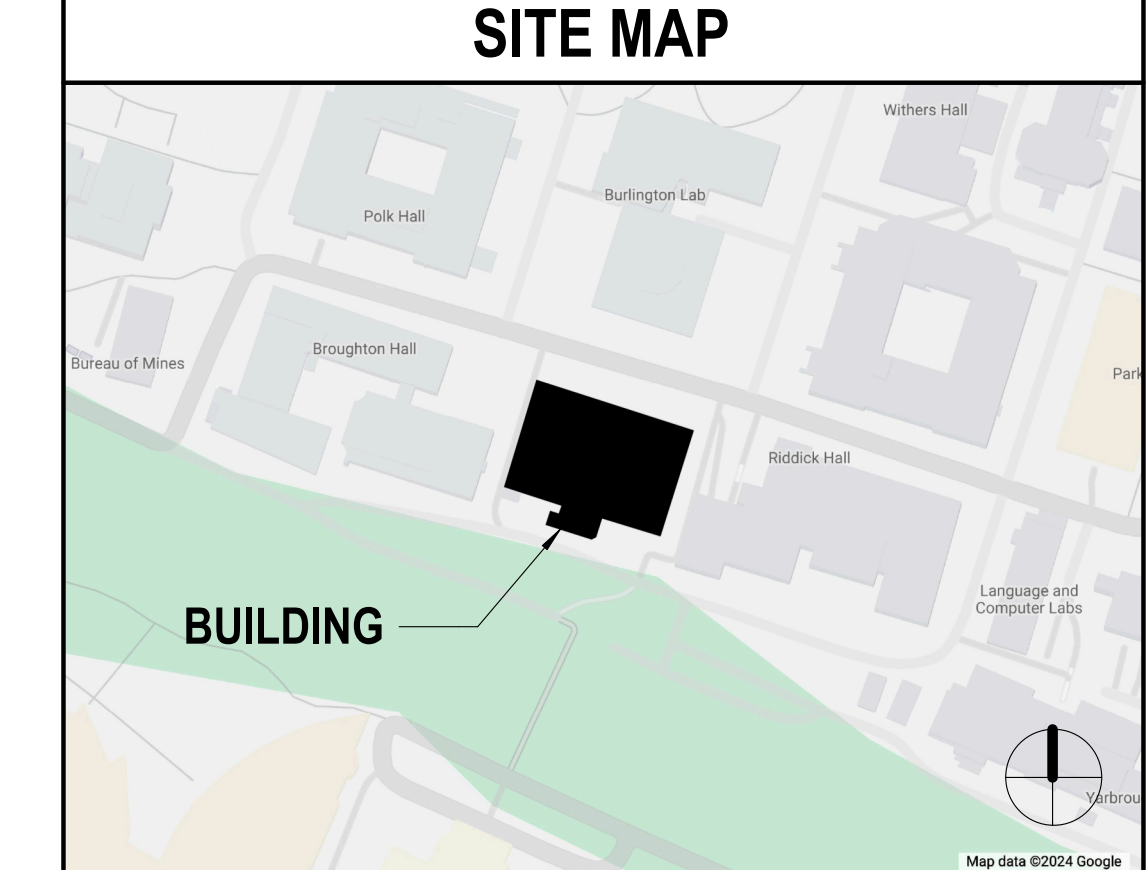
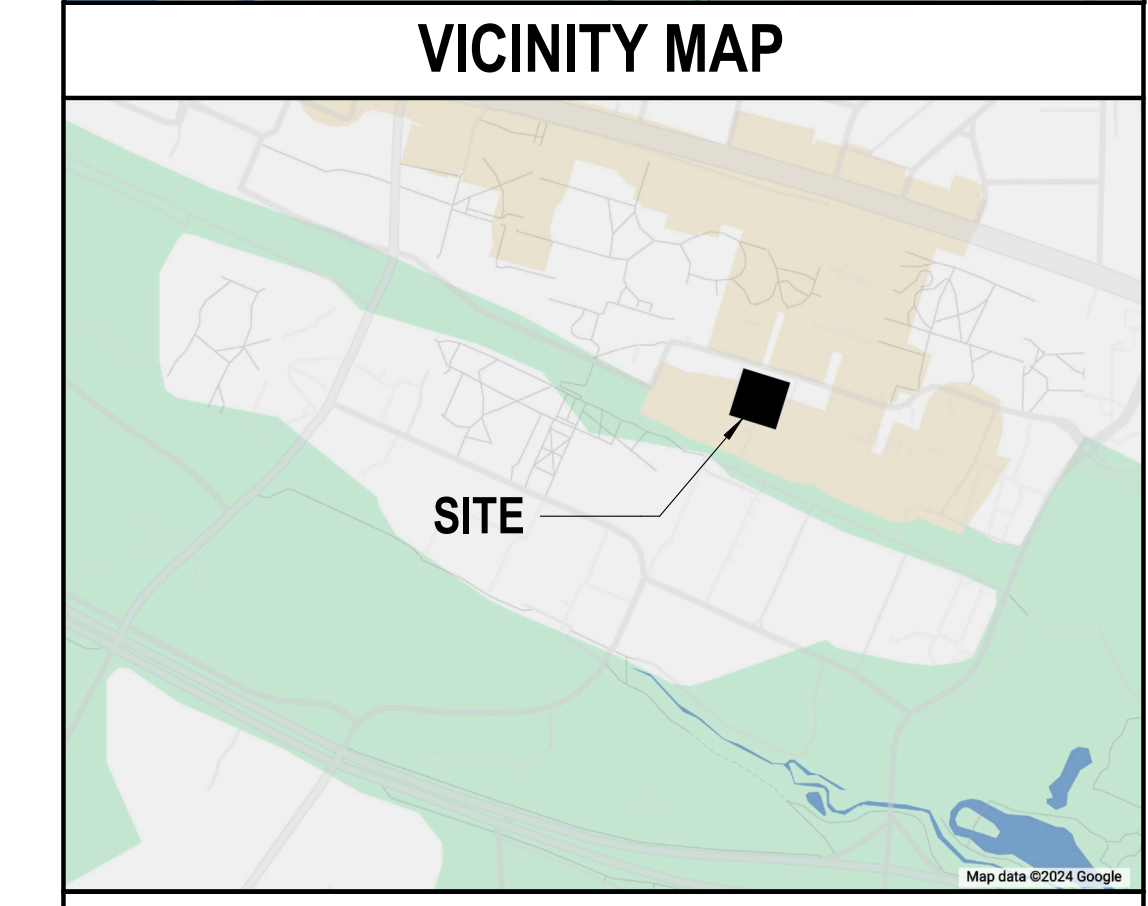
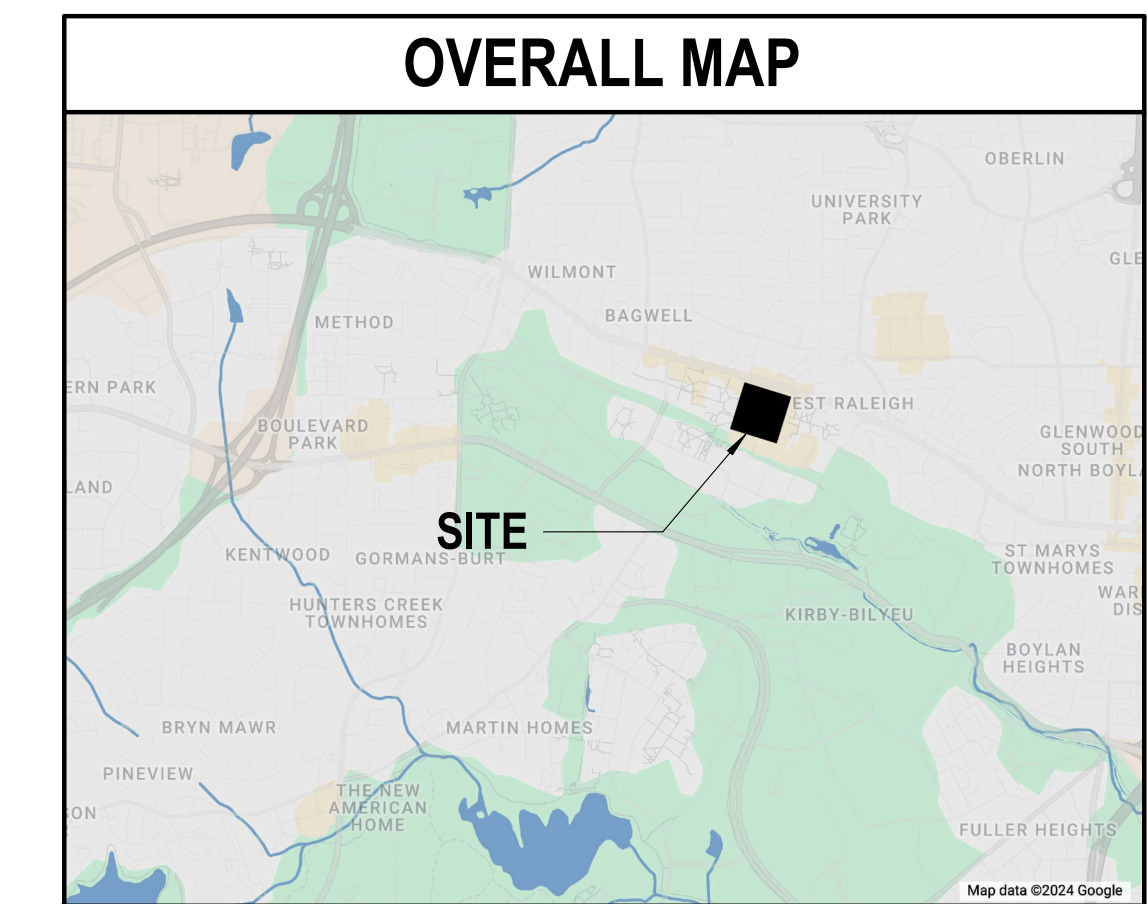
2501 Stinson Dr  
Raleigh, NC 27607

## DESIGN DEVELOPMENT DOCUMENTS VOLUME 1

Perkins&Will Perkins&Will

OWNER	ARCHITECT	INTERIOR DESIGN	STRUCTURAL	MEP	CIVIL	CONTRACTOR	AUDIO/VISUAL	LIGHTING	SUSTAINABILITY	STATE CONSTRUCTION OFFICE
North Carolina State University Facilities Division Design & Construction Administrative Services Building III 2601 Wolf Village Way, Suite 331, Raleigh, NC 27695 (919) 515-2011 (TEL)	Perkins&Will 411 W. Chapel Hill Street Suite 200, Durham, NC 27701 (919) 433-5300 (TEL)	Perkins&Will 411 W. Chapel Hill Street Suite 200, Durham, NC 27701 (919) 433-5300 (TEL)	Lynch Mykns Structural Engineers 301 N. West Street Suite 105, Raleigh, NC 27603 (919) 782-1833 (TEL)	Salas O'Brien 702 Oberlin Road, Raleigh, NC 27605 License (NC): F-1434 (919) 832-8118 (TEL)	NV5 Engineers and Consultants 3300 Regency Parkway Suite 100, Cary, NC 27518 (919) 838-4800 (TEL)	Holder Construction Group 6210 Ardrey Kell Road Suite 400, Charlotte, NC 28277 (704) 357-4200 (TEL)	NV5 Engineers and Consultants 4905 Professional Court, Raleigh, NC 27609 (919) 876-9799 (TEL)	Available Light 5700 Six Forks Road, Suite 203, Raleigh, NC 27609 (212) 977-2611 (TEL)	Ecoimpact Consulting 8022 Providence Road Suite 500, Charlotte, NC 28277 (212) 977-2611 (TEL)	301 N Wilmington St # 450, Raleigh, NC 27601 (919) 807-4100 (TEL)

SHEET INDEX - EARLY DEMO			
SHEET NUMBER	SHEET NAME	ISSUE FOR BID - DEMO	ISSUE FOR BID - DEMO REV 1
DEMO_01-GENERAL			
G00-00A	COVER SHEET AND INDEX OF DRAWINGS	04/17/2024	10/28/2024
G01-01A	CODE COMPLIANCE DATA - DEMOLITION	04/17/2024	10/28/2024
G01-02A	SITE LOGISTICS PLAN		10/28/2024
DEMO_04-ARCHITECTURAL			
A00-01A	REFERENCE SHEET	04/17/2024	10/28/2024
A04-01	DEMOLITION PLAN - FLOOR 01	04/17/2024	10/28/2024
A04-02	DEMOLITION PLAN - FLOOR 02	04/17/2024	10/28/2024
A04-03	DEMOLITION PLAN - FLOOR 03	04/17/2024	10/28/2024
A04-04	DEMOLITION PLAN - FLOOR 04	04/17/2024	10/28/2024
A04-05	DEMOLITION PLAN - ROOF	04/17/2024	10/28/2024
A04-11	DEMOLITION REFLECTED CEILING PLAN - FLOOR 01	04/17/2024	10/28/2024
A04-12	DEMOLITION REFLECTED CEILING PLAN - FLOOR 02	04/17/2024	10/28/2024
A04-13	DEMOLITION REFLECTED CEILING PLAN - FLOOR 03	04/17/2024	10/28/2024
A04-14	DEMOLITION REFLECTED CEILING PLAN - FLOOR 04	04/17/2024	10/28/2024
DEMO_07 - PLUMBING			
P04-00	STANDARDS, SYMBOLS & ABBREVIATIONS - DEMO	04/17/2024	10/28/2024
P04-01	DEMOLITION PLAN - FLOOR 01	04/17/2024	10/28/2024
P04-02	DEMOLITION PLAN - FLOOR 02	04/17/2024	10/28/2024
P04-03	DEMOLITION PLAN - FLOOR 03	04/17/2024	10/28/2024
P04-04	DEMOLITION PLAN - FLOOR 04	04/17/2024	10/28/2024
P04-05	DEMOLITION PLAN - ROOF	04/17/2024	10/28/2024
DEMO_08 - MECHANICAL			
M04-00	STANDARDS, SYMBOLS & ABBREVIATIONS - DEMO	04/17/2024	10/28/2024
M04-01	DEMOLITION PLAN - FLOOR 01	04/17/2024	10/28/2024
M04-02	DEMOLITION PLAN - FLOOR 02	04/17/2024	10/28/2024
M04-03	DEMOLITION PLAN - FLOOR 03	04/17/2024	10/28/2024
M04-04	DEMOLITION PLAN - FLOOR 04	04/17/2024	10/28/2024
M04-05	DEMOLITION PLAN - ROOF	04/17/2024	10/28/2024
DEMO_09 - ELECTRICAL			
E04-00	STANDARDS, SYMBOLS & ABBREVIATIONS - DEMO	04/17/2024	10/28/2024
E04-01E	DEMOLITION PLAN - FLOOR 01 - POWER	04/17/2024	10/28/2024
E04-01L	DEMOLITION PLAN - FLOOR 01 - LIGHTING	04/17/2024	10/28/2024
E04-02	DEMOLITION PLAN - FLOOR 02	04/17/2024	10/28/2024
E04-03	DEMOLITION PLAN - FLOOR 03	04/17/2024	10/28/2024
E04-04	DEMOLITION PLAN - FLOOR 04	04/17/2024	10/28/2024
E04-05	DEMOLITION PLAN - ROOF	04/17/2024	10/28/2024
PROC_01-GENERAL			
G00-00B	COVER SHEET AND INDEX OF DRAWINGS Copy 1	04/17/2024	10/28/2024
G01-01B	CODE COMPLIANCE DATA - DEMOLITION Copy 1	04/17/2024	10/28/2024
PROC_04-ARCHITECTURAL			
A00-01B	REFERENCE SHEET	04/17/2024	10/28/2024

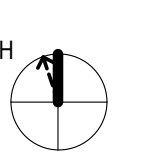


Mann Hall Renovation  
STATE ID #22-24500-028  
NC SU PROJECT # 202220021



North Carolina State University  
Facilities Division Design & Construction  
Administrative Services Building III  
2601 Wolf Village Way, Suite 331  
Raleigh, NC 27695

NOT FOR CONSTRUCTION



ISSUE CHART

MARK	ISSUE FOR BID - DEMO	ISSUE	DATE
3	ISSUE FOR BID - DEMO REV 1		10/28/2024
1	ISSUE FOR BID - DEMO		04/17/2024

Job Number 820937.001  
Drawn Author  
Checked Checker  
Approved Approver  
TITLE

COVER SHEET AND INDEX OF DRAWINGS

SHEET NUMBER

G00-00A



# 2018 APPENDIX B BUILDING CODE SUMMARY FOR ALL COMMERCIAL PROJECTS (EXCEPT 1 AND 2-FAMILY DWELLINGS AND TOWNHOUSES)

(Reproduce the following data on the building plans sheet 1 or 2)

**PROJECT INFORMATION**

Name of Project: MANH HALL RENOVATION  
 Address: 2501 STINSON DRIVE, RALEIGH, NC 27607 ZIP Code: 27607  
 Owner/Authorized Agent: MIKE BELL, NORTH CAROLINA STATE UNIVERSITY Phone #: 919-913-1729 E-Mail: mbell@ncsu.edu  
 Owned By:  City  County  State  Private  
 Code Enforcement Jurisdiction:  City  County  State

**CONTACTS**

DESIGNER	FIRM	NAME	LICENSE #	TELEPHONE #	E-MAIL
Architectural	PERKINS+WILL	SCOTT HEFFNER	13866	919-433-0208	scott.heffner@perkinswill.com
Civil	NYS	MICHAEL ALLEN	22514	919-858-1868	michael.allen@nys.com
Electrical	SALAS O'BRIEN	MATT JOHNSON	02602	864-200-8026	matt.johnson@salasobrien.com
Fire Alarm	SALAS O'BRIEN	JUSTIN SARFIN	02067	864-200-8024	justin.sarfin@salasobrien.com
Plumbing	SALAS O'BRIEN	ADAM SPACH	02080	864-200-8011	adam.spach@salasobrien.com
Mechanical	SALAS O'BRIEN	JUSTIN SARFIN	02067	864-200-8024	justin.sarfin@salasobrien.com
Sprinkler-Standpipe	SALAS O'BRIEN	JUSTIN SARFIN	02067	864-200-8024	justin.sarfin@salasobrien.com
Structural	LYNCH MYKINS	JEFFREY MORRISON	02783	919-782-1833	jeffrey.morrison@lynchmykins.com
Retaining Walls >5' High					
Other					

("Other" should include firms and individuals such as truss, precast, pre-engineered, interior designers, etc.)

**BUILDING CODE**

2018 NC BUILDING CODE:  New Building  Addition  Renovation  First Time Interior Completion  
 Shell/Core - Contact the local inspection jurisdiction for possible additional procedures & requirements  
 Phased Construction - Shell/Core - Contact the local inspection jurisdiction for possible additional procedures & requirements

2018 NC EXISTING BUILDING CODE:  N/A  Prescriptive  Repair  Chapter 14  Alteration Level I  Alteration Level II  Alteration Level III  
 Historic Property  Change of Use

CONSTRUCTED: (date) 1984 CURRENT OCCUPANCY(S): (Ch. 3) B  
 RENOVATED: (date) \_\_\_\_\_ PROPOSED OCCUPANCY(S): (Ch. 3) B

OCCUPANCY CATEGORY (Table 1604.5): Current:  N/A  I  II  III  IV  
 Proposed:  N/A  I  II  III  IV

**BASIC BUILDING DATA**

Construction Type:  I-A  I-B  II-A  II-B  III-A  III-B  IV  V-A  V-B

Sprinklers:  N/A  Yes  No  Partial  N/A  NFPA 13  NFPA 13R  NFPA 13D

Standpipes:  N/A  No  Class I  II  III  Wet  Dry

Primary Fire District:  No  Yes **Flood Hazard Area:**  No  Yes

Special Inspections Required:  No  Yes (Contact the local inspection jurisdiction for additional procedures and requirements)

**Gross Building Area Table**

FLOOR	EXISTING (SQ FT)	RENOVATED (SQ FT)	NEW (SQ FT)	SUB-TOTAL
FLOOR 4	18,646	18,646	-	18,646
FLOOR 3	18,646	18,646	-	18,646
FLOOR 2	16,941	16,941	-	16,941
FLOOR 1	23,291	23,291	-	23,291
<b>TOTAL</b>	<b>77,524</b>	<b>77,524</b>		<b>77,524</b>

**ALLOWABLE AREA**

Primary Occupancies:  A-1  A-2  A-3  A-4  A-5  
 Assembly  Business  Educational  Factory  F-1 Moderate  F-2 Low  H-3 Combust  H-4 Health  H-5 HPM  
 Hazardous  H-1 Detonate  H-2 Deftagrate  I-3  I-4  Institutional  I-1  I-2  I-3  I-4  I-5  
 Mercantile  Residential  R-1  R-2  R-3  R-4  Storage (Parking Garage)  S-1 Moderate  S-2 Low  High-piled  Storage (Parking Garage)  Open  Enclosed  Repair  Utility and Miscellaneous

Accessory Occupancy Classifications)  N/A - DEMOLITION ONLY  
 Incidental Uses (Table 509):  N/A - DEMOLITION ONLY

Special Uses:  402  403  404  405  406  407  408  409  410  411  412  
 (Ch 4 - List Code Sections)  413  414  415  416  417  418  419  420  421  422  423  
 424  425  426  427

Special Provisions (Ch 5 - List Code Sections):  No  Yes Separation: \_\_\_\_\_ Hr. Exception: \_\_\_\_\_

Mixed Occupancy:  No  Yes

Yes  No  Non-Separated Use (508.3)  Separated Use (508.4) See below for area calculations for each story, the area of the occupancy shall be such that the sum of the ratios of the actual floor area of each use divided by the allowable floor area for each use shall not exceed 1.

$$\frac{\text{Actual Area of Occupancy A}}{\text{Allowable Area of Occupancy A}} + \frac{\text{Actual Area of Occupancy B}}{\text{Allowable Area of Occupancy B}} \leq 1$$

STORY NO.	DESCRIPTION AND USE	(A) BLDG. AREA PER STORY (ACTUAL)	(B) TABLE 506.2 AREA	(C) AREA FOR FRONTAGE INCREASE <sup>1</sup>	(D) ALLOWABLE AREA PER STORY OR UNLIMITED <sup>2,3</sup>
4	BUSINESS/UNOCCUPIED	18,646 SF	23,000 SF	14,375 SF	37,375 SF
3	BUSINESS/UNOCCUPIED	18,646 SF	23,000 SF	14,375 SF	37,375 SF
2	BUSINESS/UNOCCUPIED	16,941 SF	23,000 SF	14,375 SF	37,375 SF
1	BUSINESS/UNOCCUPIED	23,291 SF	23,000 SF	14,375 SF	37,375 SF

<sup>1</sup> Frontage area increases from Section 506.2 are computed thus:  
 a. Perimeter which fronts a public way or open space having 20 feet minimum width = 410 (F)  
 b. Total Building Perimeter = 410 (P)  
 c. Ratio (F/P) = 1.0  
 d. W = Minimum width of public way = 20 (W)  
 e. Percentage of frontage increase =  $i = (F/P - 0.25) \times (W/30) = 0.0$  (%)  
<sup>2</sup> Unlimited area applicable under conditions of Section 507.  
<sup>3</sup> Maximum Building Area = total number of stories in the building x D (maximum 3 stories) (506.2).  
<sup>4</sup> The maximum area of open parking garages must comply with Table 406.5.4. The maximum area of air traffic control towers must comply with Table 412.3.1.  
<sup>5</sup> Frontage increase is based on the unsprinkled area value in Table 506.2

**ALLOWABLE HEIGHT**

	ALLOWABLE	SHOWN ON PLANS	CODE REFERENCE
Building Height in Feet (Table 504.3)	55 FT	EXISTING TO REMAIN - 53 FT	
Building Height in Stories (Table 504.4)	3 STORIES	EXISTING TO REMAIN - 3 STORIES	

<sup>1</sup> Provide code reference if the "Shown on Plans" quantity is not based on Table 504.3 or 504.4.

**FIRE PROTECTION REQUIREMENTS**

BUILDING ELEMENT	FIRE SEPARATION DISTANCE (FEET)	RATING REQ'D	PROVIDED (W/ REDUCTION)	DETAIL # AND SHEET #	DESIGN # FOR RATED ASSEMBLY	SHEET # FOR RATED PENETRATION	SHEET # FOR RATED JOINTS
<b>Structural Frame, including columns, girders, trusses</b>							
<b>Bearing Walls</b>							
North	96 FT	0	EXISTING TO REMAIN				
East	31 FT	0	EXISTING TO REMAIN				
West	31 FT	0	EXISTING TO REMAIN				
South	137 FT	0	EXISTING TO REMAIN				
Interior	-	0	EXISTING TO REMAIN				
<b>Nonbearing walls and Partitions</b>							
Exterior walls	-	0	EXISTING TO REMAIN				
North	-	0	EXISTING TO REMAIN				
East	-	0	EXISTING TO REMAIN				
West	-	0	EXISTING TO REMAIN				
South	-	0	EXISTING TO REMAIN				
Interior walls and partitions	-	0	EXISTING TO REMAIN				
<b>Floor Construction including supporting beams and joists</b>							
Floor / Ceiling Assembly	-	0	EXISTING TO REMAIN				
<b>Columns Supporting Floors</b>							
Roof Construction including supporting beams and joists	-	0	EXISTING TO REMAIN				
<b>Roof Ceiling Assembly</b>							
Columns Supporting Roof	-	0	EXISTING TO REMAIN				
<b>Shaft Enclosures - Exit</b>							
Shaft Enclosures - Other	-	2	EXISTING TO REMAIN				
<b>Corridor Separation</b>							
Occupancy / Fire Barrier Separation	-	N/A					
<b>Party/Fire Wall Separation</b>							
Smoke Barrier Separation	-	N/A					
<b>Smoke Partition</b>							
Tenant / Dwelling Unit / Sleeping Unit Separation	-	N/A					
<b>Incidental Use Separation</b>							
Incidental Use Separation	-	N/A					

\* Indicate section number permitting reduction

**PERCENTAGE OF WALL OPENING CALCULATIONS**

FIRE SEPARATION DISTANCE (FEET) FROM PROPERTY LINES	DEGREE OF OPENINGS PROTECTION (TABLE 705.8)	ALLOWABLE AREA (%)	ACTUAL SHOWN ON PLANS (%)
NORTH & SOUTH - GREATER THAN 30'	UNPROTECTED, NONSPRINKLERED	UNLIMITED	
EAST - 20'	UNPROTECTED, NONSPRINKLERED	70%	35% (EXISTING TO REMAIN)
WEST - 20'	UNPROTECTED, NONSPRINKLERED	70%	37% (EXISTING TO REMAIN)

**LIFE SAFETY SYSTEM REQUIREMENTS**

Emergency Lighting:  No  Yes  
 Exit Signs:  No  Yes  
 Fire Alarm:  No  Yes  
 Smoke Detection Systems:  No  Yes  Partial  
 Carbon Monoxide Detection:  No  Yes

**LIFE SAFETY PLAN REQUIREMENTS**

Life Safety Plan Sheet #: \_\_\_\_\_

Fire alarm smoke rated wall locations (Chapter 7)  
 Assumed and/or property line locations (if not on the site plan)  
 Exterior wall opening area with respect to distance to assumed property lines (705.8)  
 Occupancy Use for each area as it relates to occupancy load calculation (Table 1004.1.2)  
 Occupant loads for each area  
 Exit access travel distances (1017)  
 Common path of travel distances (Tables 1005.2.1 & 1005.3.2(1))  
 Dead end lengths (1020.4)  
 Clear exit widths for each exit door  
 Maximum calculated occupant load capacity each exit door can accommodate based on egress width (1005.3)  
 Actual occupant load for each exit door  
 A separate schematic plan indicating where fire rated floor/ceiling and/or roof structure is provided for purposes of occupancy separation  
 Location of doors with panic hardware (1010.4.10)  
 Location of doors with delayed egress locks and the amount of delay (1010.1.9.7)  
 Location of doors with electromagnetic egress locks (1010.1.9.9)  
 Location of doors equipped with hold-open devices  
 Location of emergency escape windows (1030)  
 The square footage of each fire area (202)  
 The square footage of each smoke compartment for Occupancy Classification I-2 (407.5)  
 Note any code exceptions or table notes that may have been utilized regarding the items above

**ACCESSIBLE DWELLING UNITS (SECTION 1107)**

TOTAL UNITS	ACCESSIBLE UNITS REQUIRED	ACCESSIBLE UNITS PROVIDED	TYPE A UNITS REQUIRED	TYPE A UNITS PROVIDED	TYPE B UNITS REQUIRED	TYPE B UNITS PROVIDED	TOTAL ACCESSIBLE UNITS PROVIDED

**ACCESSIBLE PARKING (SECTION 1106)**

LOT OR PARKING AREA	TOTAL # OF PARKING SPACES REQUIRED	# OF ACCESSIBLE SPACES PROVIDED	REGULAR WITH 5' ACCESS AISLE	132" ACCESS AISLE	# 4' ACCESS AISLE	TOTAL # ACCESSIBLE SPACES PROVIDED
<b>TOTAL</b>						

**PLUMBING FIXTURE REQUIREMENTS (TABLE 2902.1)**

USE	WATERCLOSETS			LAVATORIES			SHOWERS/TUBS		DRINKING FOUNTAINS	
	MALE	FEMALE	UNISEX	MALE	FEMALE	UNISEX	REGULAR	ACCESSIBLE	REGULAR	ACCESSIBLE
SPACE										
EXIST'G										
NEW										
REQ'D										

**SPECIAL APPROVALS**

Special Approval: (Local Jurisdiction, Department of Insurance, OCS, DPI, DHHS, etc., describe below)  
 NONE

**ENERGY REQUIREMENTS**

The following data shall be considered minimum and any special attribute required to meet the energy code shall also be provided. Each Designer shall furnish the required portions of the project information for the plan data sheet. If performance method, state the annual energy cost for the standard reference design vs annual energy cost for the proposed design.

Existing building envelope complies with code:  No  Yes (The remainder of this section is not applicable)

Exempt Building:  No  Yes Provide code or statutory reference: \_\_\_\_\_

Climate Zone:  N/A  3A  4A  5A

Method of Compliance:  Energy Code - Performance  Energy Code - Prescriptive  ASHRAE 90.1 - Performance  ASHRAE 90.1 - Prescriptive  
 Other - Performance (Specify source here) \_\_\_\_\_

**THERMAL ENVELOPE (Prescriptive method only)**

**Roofing Assembly (each assembly)** [EXEMPT]  
 Description of assembly: \_\_\_\_\_  
 U-Value of total assembly: \_\_\_\_\_  
 R-Value of insulation: \_\_\_\_\_  
 Skylights in each assembly:  
 U-Value of skylight: \_\_\_\_\_  
 Total square footage of skylights in each assembly: \_\_\_\_\_

**Exterior Walls (each assembly)** [EXEMPT]  
 Description of assembly: \_\_\_\_\_  
 U-Value of total assembly: \_\_\_\_\_  
 R-Value of insulation: \_\_\_\_\_  
 Openings (windows or doors with glazing):  
 U-Value of assembly: \_\_\_\_\_  
 Solar heat gain coefficient:  
 Projection factor:  
 Door R-Values: \_\_\_\_\_

**Walls below grade (each assembly)** [EXEMPT]  
 Description of assembly: \_\_\_\_\_  
 U-Value of total assembly: \_\_\_\_\_  
 R-Value of insulation: \_\_\_\_\_

**Floors over unconditioned space (each assembly)** [EXEMPT]  
 Description of assembly: \_\_\_\_\_  
 U-Value of total assembly: \_\_\_\_\_  
 R-Value of insulation: \_\_\_\_\_

**Floors slab on grade** [EXEMPT]  
 Description of assembly: \_\_\_\_\_  
 U-Value of total assembly: \_\_\_\_\_  
 R-Value of insulation: \_\_\_\_\_  
 Horizontal/vertical requirement: \_\_\_\_\_

**STRUCTURAL DESIGN**  
(PROVIDE ON THE STRUCTURAL SHEETS IF APPLICABLE)

**DESIGN LOADS**

Importance Factors: Snow (I<sub>s</sub>)  0.80  1.0  1.1  1.2  
 Seismic (I<sub>s</sub>)  1.0  1.25  1.5

Live Loads: Roof \_\_\_\_\_ psf  
 Mezzanine \_\_\_\_\_ psf  
 Floor \_\_\_\_\_ psf

Ground Snow Load: \_\_\_\_\_ psf

Live Loads: Basic Wind Speed \_\_\_\_\_ mph (ASCE-7)  
 Exposure Category  N/A  B  C  D

**SEISMIC DESIGN**  
(PROVIDE ON THE MECHANICAL SHEETS IF APPLICABLE)

Seismic Design Category:  N/A  A  B  C

Provide the following Seismic Design Parameters:  
 Risk Category (Table 1604.5)  N/A  I  II  III  IV  
 Spectral Response Acceleration: S<sub>s</sub> \_\_\_\_\_ %g S<sub>1</sub> \_\_\_\_\_ %g  
 Site Classification (ASCE 7):  M<sub>A</sub>  M<sub>B</sub>  M<sub>C</sub>  M<sub>D</sub>  M<sub>E</sub>  F  
 Data Source:  N/A  Field Test  Presumptive  Historical Data

Basic structural system:  N/A  Bearing Wall  Building Frame  Moment Frame  Dual w/ Special Moment Frame  
 Dual w/ Intermediate R/C or Special Steel  Inverted Pendulum

Analysis Procedure:  N/A  Simplified  Equivalent Lateral Force  Dynamic

Architectural, Mechanical, Components anchored?  N/A  Yes  No

Lateral Design Control:  N/A  Earthquake  Wind

Soil Bearing Capacities:  N/A  Field Test (Provide copy of test report)  Presumptive Bearing Capacity \_\_\_\_\_ psf  
 Pile size, type, and capacity: \_\_\_\_\_

**MECHANICAL DESIGN**  
(PROVIDE ON THE MECHANICAL SHEETS IF APPLICABLE)

**MECHANICAL SYSTEMS, SERVICE SYSTEMS, & EQUIPMENT**

Thermal zone:  
 winter dry bulb: \_\_\_\_\_  
 summer dry bulb: \_\_\_\_\_

Interior design conditions:  
 winter dry bulb: \_\_\_\_\_  
 summer dry bulb: \_\_\_\_\_  
 relative humidity: \_\_\_\_\_

Building heating load: \_\_\_\_\_  
 Building cooling load: \_\_\_\_\_

Mechanical Spacing Conditioning System  
 Unitary  
 description of unit: \_\_\_\_\_  
 heating efficiency: \_\_\_\_\_  
 cooling efficiency: \_\_\_\_\_  
 size category of unit: \_\_\_\_\_

Boiler  
 size category, J oversized, state reason: \_\_\_\_\_

Chiller  
 size category, J oversized, state reason: \_\_\_\_\_

List Equipment efficiencies: \_\_\_\_\_

**ELECTRICAL DESIGN**  
(PROVIDE ON THE ELECTRICAL SHEETS IF APPLICABLE)

**ELECTRICAL SYSTEM & EQUIPMENT**

Method of Compliance:  N/A  Energy Code - Prescriptive  Energy Code - Performance  
 ASHRAE 90.1 - Prescriptive  ASHRAE 90.1 - Performance

Lighting schedule (each fixture type)  
 lamp type required in fixture  
 number of lamps in fixture  
 ballast type used in the fixture  
 total wattage per fixture  
 total interior wattage specified vs. allowed (whole building of space by space)  
 total exterior wattage specified vs. allowed

Additional Efficiency Package Options  
 (When using the 2018 NCECC, not required for ASHRAE 90.1)

C406.2 More Efficient HVAC Equipment Performa  
 C406.3 Regulated Lighting Power Density  
 C406.4 Enhanced Digital Lighting Controls  
 C406.5 On-Site Renewable Energy  
 C406.6 Dedicated Outdoor Air System  
 C406.7 Reduced Energy Use in Service Water Heating

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MEP  
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 License (NC): F-1434

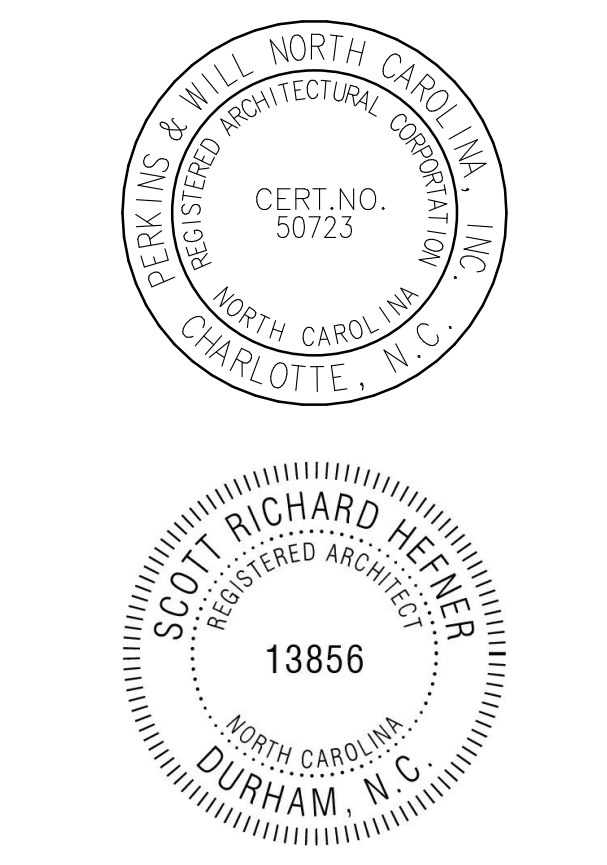
civil  
 NVS Engineers and Consultants  
 3300 Regency Parkway Suite 100, Cary, NC 27518

CONTRACTOR  
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ARCHITECTURAL  
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 4905 Professional Court, Raleigh, NC 27609

LIGHTING  
 Available Light  
 5700 Six Forks Road, Suite 203, Raleigh, NC 27609

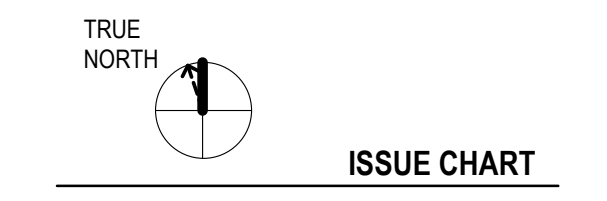
SUSTAINABILITY  
 Ecoimpad Consulting  
 8022 Providence Road Suite 500, Charlotte, NC 28277



**Mann Hall Renovation**  
 STATE ID #22-24500-02B  
 NCSU PROJECT # 202220021



**North Carolina State University**  
 Facilities Division Design & Construction  
 Administrative Services Building III  
 2501 Wolf Village Way, Suite 531  
 Raleigh, NC 27695



**ISSUE CHART**

NO.	ISSUE FOR BID - DEMO REV 1	DATE
1	ISSUE FOR BID - DEMO	4/17/2024
2	ISSUE FOR BID - DEMO	4/17/2024

Job Number: 820937.001  
 Drawn: Author  
 Checked: Checker  
 Approved: Approver

TITLE

**CODE COMPLIANCE DATA - DEMOLITION**

SHEET NUMBER  
**G01-01A**



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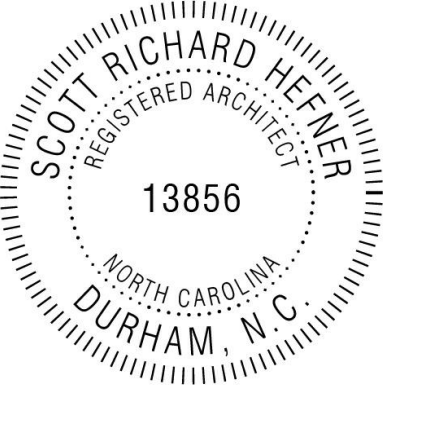
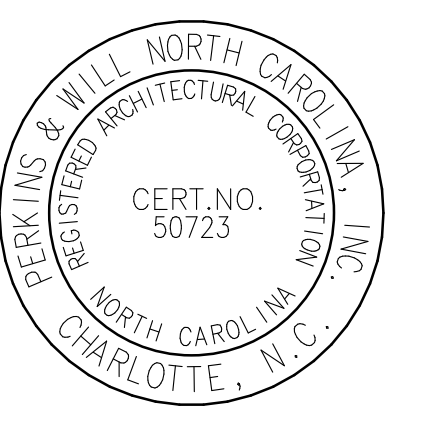
**NVS Engineers and Consultants**  
3300 Regency Parkway Suite 100, Cary, NC 27518

**CONTRACTOR**  
Holder Construction Group  
6210 Ardrey Kell Road Suite 400, Charlotte, NC 28277

**AUDIOVISUAL**  
NVS Engineers and Consultants  
4905 Professional Court, Raleigh, NC 27609

**LIGHTING**  
Available Light  
5700 Six Forks Road, Suite 203, Raleigh, NC 27609

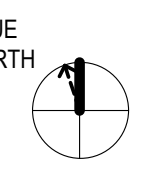
**SUSTAINABILITY**  
Ecoimpact Consulting  
8022 Providence Road Suite 500, Charlotte, NC 28277



**Mann Hall Renovation**  
STATE ID #22-2450-02B  
NCSU PROJECT # 202220021



**North Carolina State University**  
Facilities Division Design & Construction  
Administrative Services Building III  
2901 Wolf Village Way, Suite 531  
Raleigh, NC 27695



**ISSUE CHART**

3	ISSUE FOR BID - DEMO REV 1	10/28/2024
WORK	DATE	DATE
<b>Job Number</b>	820937.001	
<b>Drawn</b>	Author	
<b>Checked</b>	Checker	
<b>Approved</b>	Approver	
	<b>TITLE</b>	

**SITE LOGISTICS PLAN**

SHEET NUMBER

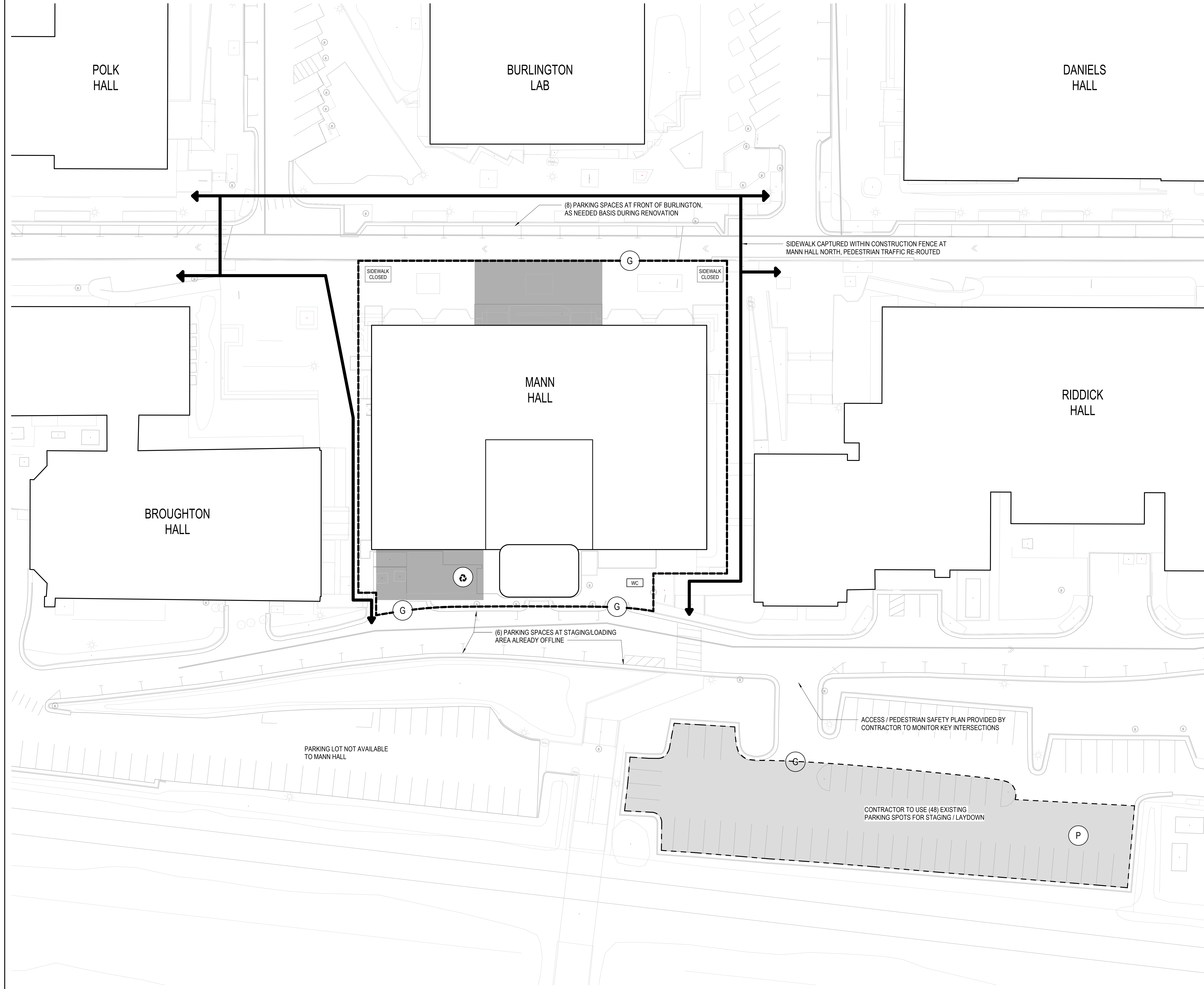
**G01-02A**

**LEGEND**

- CONSTRUCTION FENCING
- CONSTRUCTION GATE
- STAGING AREA
- CAPTURED PARKING SPOTS WITH CONSTRUCTION FENCING
- RECYCLING / DUMPSTERS
- TEMPORARY TOILETS
- PEDESTRIAN SAFETY CROSSING
- PEDESTRIAN CIRCULATION
- CONTRACTOR STAGING / LAYDOWN

**NOTES BY NUMBER**

- <<< Indicates Sheet Keynote on Plan



**SITE LOGISTICS PLAN - DEMOLITION AND RENOVATION PHASE**

1  
3/64" = 1'-0"



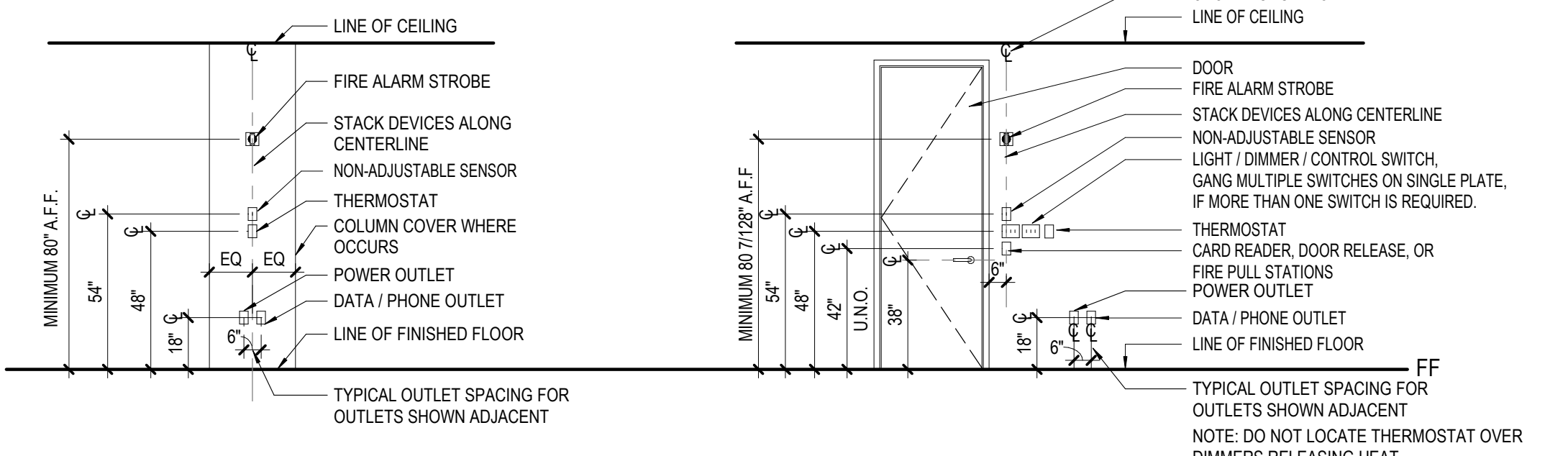
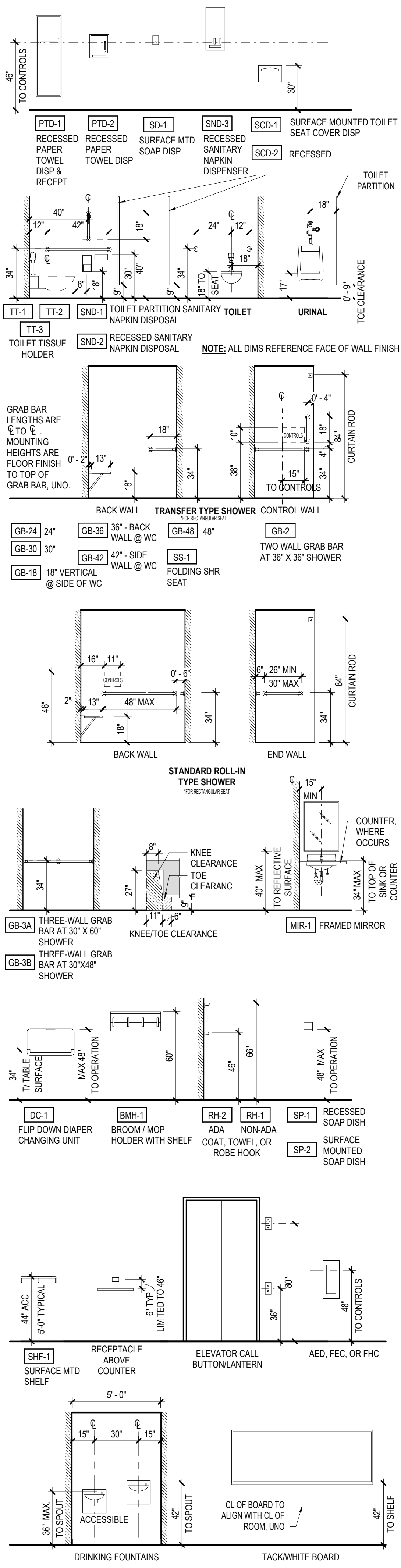
# ALTERNATES

SEE PROJECT MANUAL FOR FULL LIST OF ALTERNATES.

EXTENT OF SHELL SPACE FOR ALTERNATE 1

# MOUNTING DIMENSIONS

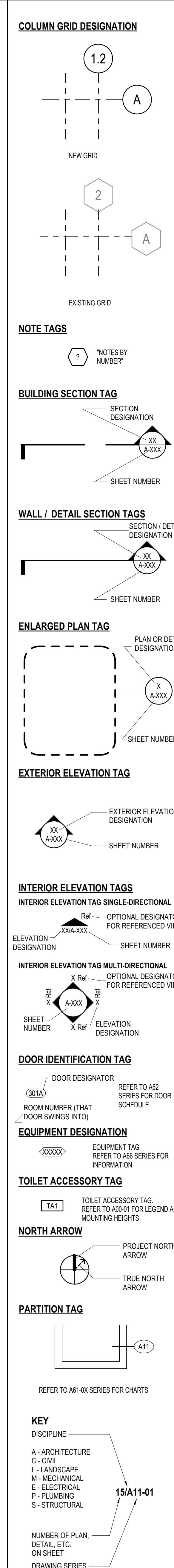
MOUNTING INFORMATION SHOWN HERE IS COMPLIANT WITH REQUIREMENTS OF ICC A117.1-2009 AND 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN



# ABBREVIATIONS

ACT	ACOUSTICAL CEILING	W	WEST
AF	ABOVE FINISHED FLOOR	WO	WITHOUT
AH	AIR HANDLING UNIT	WOOD	WOOD
ALT	ALTERNATE	WV	WELDED WIRE FABRIC
ALUM	ALUMINUM	WWM	WELDED WIRE MESH
APPROX	APPROXIMATE	WM	WOOD
ARCH	ARCHITECTURAL ARCHITECT	X	BY
BLDG	BUILDING		
CFCI	CONTRACTOR FURNISHED CONTRACTOR INSTALLED		
CFOI	CONTRACTOR FURNISHED, OWNER INSTALLED		
CFMF	COLD-FORMED METAL FRAMING		
CG	CORNER GUARD		
CP	CAST-IN-PLACE		
CJ	CONTROL JOINT		
CL	CENTER LINE		
CLG	CLEAR		
CLR	CLEAR		
CMU	CONCRETE MASONRY UNIT		
CONC	CONCRETE		
COORD	COORDINATE		
DBL	DOUBLE		
DEG	DEGREE		
DEM	DEMOLITION		
DA	DIAMETER		
DM	DIMENSION		
DSP	DISPENSER		
DS	DOWNSPOUT		
DWG	DRAWING		
E	EAST		
EA	EACH		
EJ	EXPANSION JOINT		
EL	ELEVATION		
ELEC	ELECTRICAL		
ELEV	ELEVATOR		
EOS	EDGE OF SLAB		
EQ	EQUAL		
EQUIP	EQUIPMENT		
EW	EACH WAY		
EXIST	EXISTING		
EXT	EXTERIOR		
FD	FLOOR DRAIN		
FDC	FIRE DEPARTMENT CONNECTION		
FEC	FIRE EXTINGUISHER		
FEC CABINET	FIRE EXTINGUISHER CABINET		
FF	FINISH FACE		
FHC	FIRE HOSE CABINET		
FIN	FINISH		
FLR	FLOOR		
FP	FIRE PROTECTION		
FIREPROOF	FIREPROOF		
FRTW	FIRE RETARDANT TREATED WOOD		
FTG	FOOTING		
FURN	FURNISH, FURNITURE		
G	GAGE		
GALV	GALVANIZED		
GFR	GLASS FIBER		
GRG	REINFORCED CONCRETE GLASS FIBER		
GL	GLUED LAMINATED WOOD		
GLU LAM	GLUED LAMINATED WOOD		
GYP BD	GYP BOARD		
GYP PLAS	GYP PLASTER		
H	HIGH		
HM	HOLLOW METAL		
HORIZ	HORIZONTAL		
HP	HIGH POINT		
HT	HEIGHT		
HVAC	HEATING, VENTILATION, AIR CONDITIONING		
ID	INSIDE DIAMETER		
INSUL	INSULATION		
INT	INTERIOR		
L	LONG LENGTH (LAMINATED)		
LAMI	LAMINATED		
LF	LINEAR FOOT, (FEET)		
LP	LOW POINT		
LVR	LOUVER		
m	METER		
MAX	MAXIMUM		
MECH	MECHANICAL		
MEP	MECHANICAL, ELECTRICAL, PLUMBING		
MFR	MANUFACTURER		
MIN	MINIMUM		
MISC	MISCELLANEOUS		
mm	MILLIMETER		
MO	MASONRY OPENING		
MTL	METAL		
N	NORTH		
NC	NOT IN CONTRACT		
NOM	NOMINAL		
NTS	NOT TO SCALE		
OC	ON CENTER		
OD	OUTSIDE DIAMETER		
OFI	OWNER FURNISHED, CONTRACTOR INSTALLED		
OFIO	OWNER FURNISHED, OWNER INSTALLED		
OPH	OPPOSITE HAND		
PCC	PRE-CAST CONCRETE		
PERF	PERFORATED		
PLAM	PLASTIC LAMINATE		
PLBG	PLUMBING		
PNT	PAINT		
PREFAB	PREFABRICATED		
PROJ	PROJECT		
PROP	PROPERTY		
PSF	POUNDS PER SQUARE FOOT		
PSI	POUNDS PER SQUARE INCH		
QTY	QUANTITY		
R	RADIUS, RISER		
RCP	REFLECTED CEILING PLAN		
RD	ROOF DRAIN		
REIN	REINFORCE, REINFORCING		
REQ(D)	REQUIRED		
REV	REVISION		
RM	ROOM		
RO	ROUGH OPENING		
S	SOUTH		
SCHED	SCHEDULE		
SECT	SECTION		
SF	SQUARE FOOT/FEET		
SIM	SIMILAR		
SPEC	SPECIFICATION		
SST	STAINLESS STEEL		
STC	SOUND TRANSMISSION CLASS		
STD	STANDARD		
STRUCT	STRUCTURAL		
T	TREAD		
TI	TOP OF		
T&G	TONGUE & GROOVE		
TEMP	TEMPORARY		
THK	THICK		
TYP	TYPICAL		
U	HEAT TRANSFER		
COEFFICIENT			
UL	UNDERWRITERS		
LABORATORIES			
UNO	UNLESS NOTED OTHERWISE		
VERT	VERTICAL		
VP	VERIFY IN FIELD		

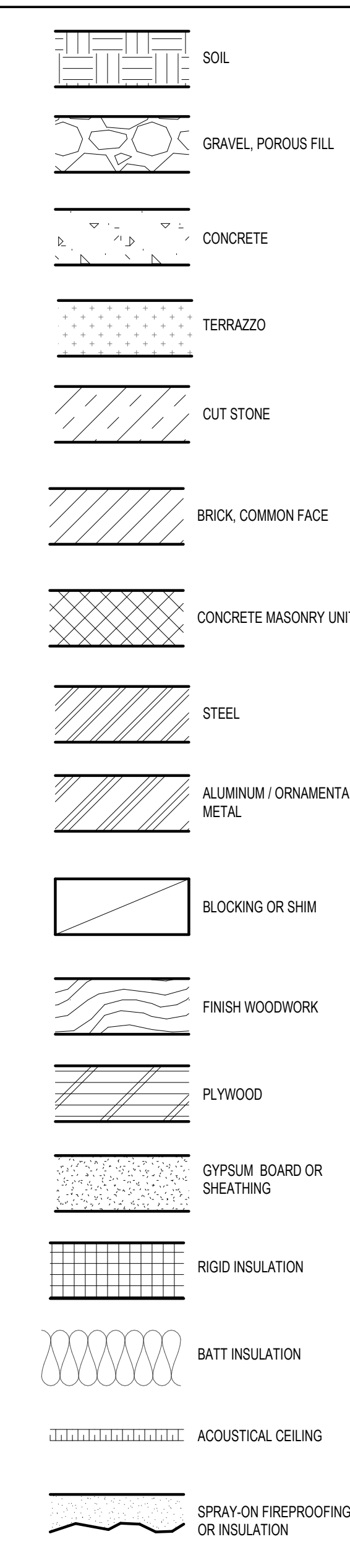
# SYMBOLS LEGEND



# GENERAL PROJECT NOTES

- REFER TO COMPLETE SET OF ISSUED CONTRACT DOCUMENTS FOR APPLICABLE NOTES, ABBREVIATIONS, AND SYMBOLS.
- DO NOT SCALE THE DRAWING. IF DIMENSIONS ARE IN QUESTION OBTAIN CLARIFICATION FROM THE ARCHITECT BEFORE PROCEEDING.
- DIMENSIONS SHOWN ON THE FLOOR PLANS FOR NEW CONSTRUCTION ARE TO THE FACE OF GYPSUM BOARD FOR PARTITIONS, TO CENTER LINE OF COLUMNS AND TO FACE OF CONCRETE OR MASONRY WALLS UNLESS OTHERWISE INDICATED. DIMENSIONS IN RENOVATED AREAS ARE FROM FINISH FACE OF EXISTING WALLS AND TO FINISH FACE OF NEW PARTITIONS UNLESS OTHERWISE INDICATED.
- FIELD MEASURE AND CONFIRM DIMENSIONS FOR OWNER PROVIDED EQUIPMENT AND FURNISHINGS. COORDINATE WITH THE OWNER ON DELIVERY AND INSTALLATION OF O/F/O EQUIPMENT. MINIMUM REQUIRED OPENINGS AND ACCESSIBLE ROUTES TO THE INSTALLATION AREA SHALL BE COORDINATED WITH THE SUPPLIER.
- FINISH FLOOR ELEVATIONS ARE TO TOP OF SCHEDULED FINISH UNLESS OTHERWISE NOTED.
- WHERE NEW GYPSUM BOARD PARTITIONS ARE A CONTINUATION OF AN EXISTING PARTITION OR COLUMN ENCASUREMENT, THE FACE OF THE NEW GYPSUM BOARD SHALL BE ALIGNED WITH THE FACE OF THE EXISTING SURFACE. WHERE A ONE-HOUR PARTITION IS SHOWN AS A CONTINUATION OF A TWO-HOUR PARTITION OR COLUMN ENCASUREMENT, THE GYPSUM BOARD SHALL BE OFFSET FROM FRAMING AS REQUIRED TO PROVIDE FACE ALIGNMENT OF GYPSUM BOARD ON BOTH SIDES.
- LEVEL FLOORS SO THAT THEY DO NOT EXCEED A 1/2" VARIANCE IN A 10'-0" RADIUS.
- PARTITION TYPES AND FIRE RESISTIVE RATINGS INDICATED ON A PARTITION ARE TO BE CONSISTENT FOR THE LENGTH AND HEIGHT OF A PARTITION.
- FLOOR OUTLET LOCATIONS ARE TO BE APPROVED BY ARCHITECT AND BUILDING MANAGEMENT PRIOR TO CORE DRILLING.
- OPENINGS IN A RATED WALL, FLOOR, CEILING AND ROOF ASSEMBLIES SHALL BE SEALED WITH A FIRE RESISTANT JOINT SYSTEMS OR PROTECTED WITH A FIRE RATED CHASE.
- WHERE MATERIALS ARE APPLIED TO, OR ARE IN DIRECT CONTACT WITH WORK INSTALLED BY ANOTHER SUBCONTRACTOR, COMMENCEMENT OF WORK IMPLIES ACCEPTANCE OF THE SUBSTRATE AS SUITABLE FOR THE APPLICATION INTENDED.
- ISOLATE DISSIMILAR METALS TO PREVENT GALVANIC CORROSION.
- COORDINATE LOCATION OF SEALANT AND COMPATIBILITY OF SEALANTS WITH ADJACENT WORK, INCLUDING MATERIALS AND OTHER CONTIGUOUS SEALANTS.
- MAINTAIN THE FIRE RATING OF CONSTRUCTION AROUND CABINETS, PANELS, AND BOXES RECESSED IN FIRE RATED WALL, FLOOR, AND CEILING ASSEMBLIES.
- DO NOT HANG (SUPPORT) ANY ITEMS FROM METAL ROOF DECK. IT IS ACCEPTABLE TO ATTACH CEILING SYSTEM WIRE HANGERS FROM JOISTS OR BEAMS. IF NO JOIST OR BEAM IS AVAILABLE, PROVIDE SUPPLEMENTAL STEEL SUPPORTS.

# MATERIALS AT LARGE SCALES

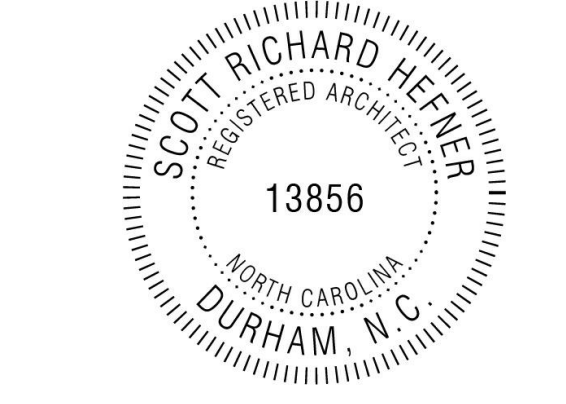
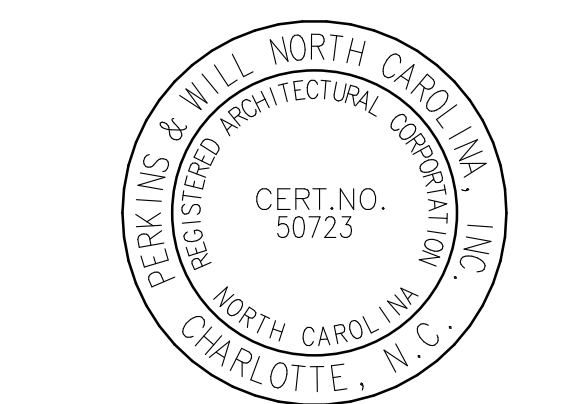


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- AUDIOVISUAL**  
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- SUSTAINABILITY**  
Ecoimpad Consulting  
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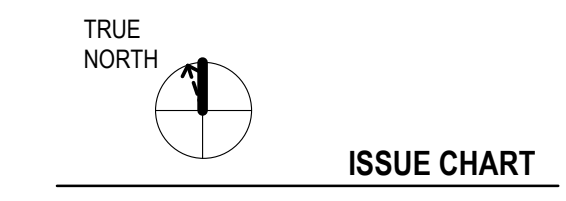
## Mann Hall Renovation

STATE ID #22-24500-02B  
NC SU PROJECT # 20220021



## North Carolina State University

Facilities Division Design & Construction  
Administrative Services Building III  
2901 Wolf Village Way, Suite 331  
Raleigh, NC 27695



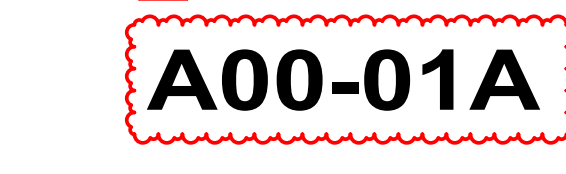
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3	ISSUE FOR BID - DEMO REV 1	10/28/2024
2	DESIGN DEVELOPMENT	8/9/2024
1	ISSUE FOR BID - DEMO	4/17/2024
	ISSUE FOR BID - DEMO	3/24/24

Job Number: 820937.001  
Drawn: Author  
Checked: Checker  
Approved: Approver

## REFERENCE SHEET

SHEET NUMBER





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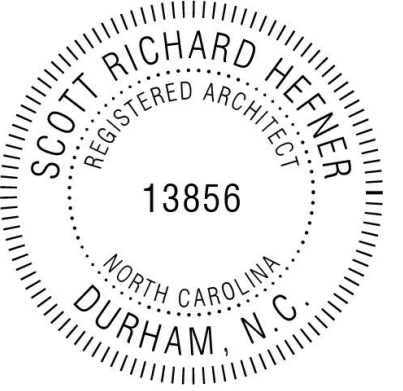
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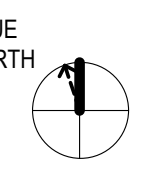
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**Mann Hall Renovation**  
STATE ID #22-2450-02B  
NCSU PROJECT # 202220021



**North Carolina State University**  
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TRUE NORTH

3	ISSUE FOR BID - DEMO REV 1	10/28/2024
1	ISSUE FOR BID - DEMO	4/17/2024
WORK	ISSUE	DATE
<b>Job Number</b>	820937.001	
<b>Drawn</b>	Author	
<b>Checked</b>	Checker	
<b>Approved</b>	Approver	
<b>TITLE</b>		

**DEMOLITION PLAN - FLOOR 01**

SHEET NUMBER

**A04-01**

**DEMOLITION GENERAL NOTES**

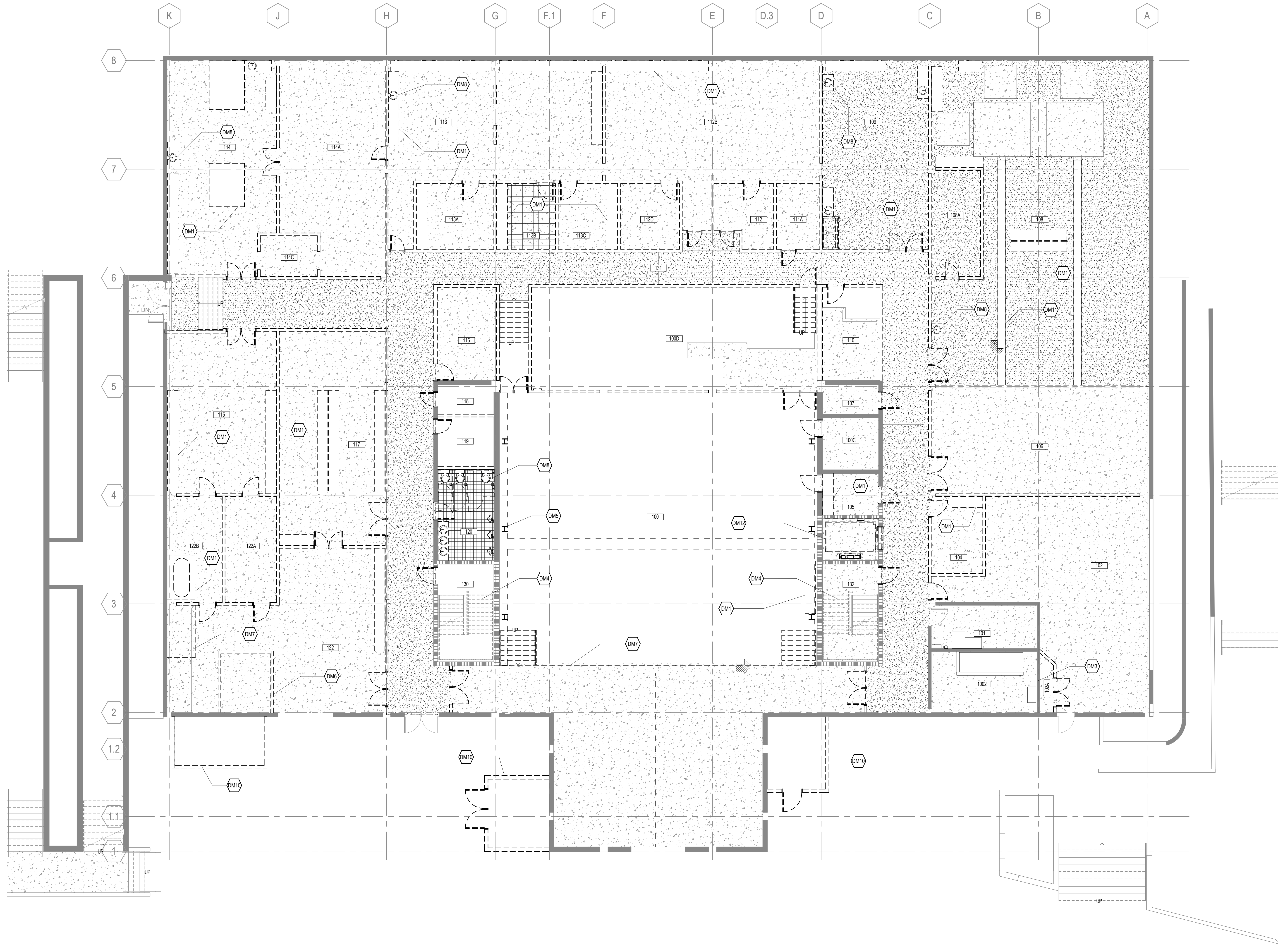
- NO SCOPE OUTSIDE OF THE BUILDING ENVELOPE HAS BEEN IDENTIFIED. WHEN SYSTEMS TO BE DEMOLISHED PENETRATE THE EXTERIOR ENVELOPE, TAKE CARE TO NOT DAMAGE ADJACENT SURFACES.
- THESE DRAWINGS HAVE BEEN DEVELOPED FROM EXISTING DRAWINGS WHICH MAY NOT REFLECT ACTUAL FIELD CONDITIONS. VERIFY THESE DRAWINGS WITH EXISTING FIELD CONDITIONS AND NOTIFY THE ARCHITECT IMMEDIATELY OF INCONSISTENCIES BETWEEN THEM AND ACTUAL CONDITIONS BEFORE PROCEEDING WITH CONSTRUCTION.
- REMOVE CONSTRUCTION AS INDICATED. TYPICAL WALL REMOVAL INCLUDES FINISHES AND MECHANICAL, PLUMBING AND ELECTRICAL SYSTEMS CONTAINED THEREIN. REMOVE DOORS, CASEWORK, WINDOWS, FRAMES, AND OTHER FIXTURES AS REQUIRED. AFTER REMOVAL OF PIPE CHASES, PATCH HOLES IN FLOORS OR WALLS TO REMAIN TO MEET ORIGINAL FIRE PROTECTION AND STRUCTURAL REQUIREMENTS. PATCH ADJOINING WALLS, FLOORS AND DECK, AND PREPARE SURFACES TO RECEIVE NEW FINISHES.
- ASSUME NO SALVAGE / RELOCATION OF MATERIALS UNLESS NOTED OTHERWISE.
- SEE MECHANICAL, PLUMBING, AND ELECTRICAL DRAWINGS FOR DEMOLITION OF UTILITIES.
- DEMOLITION WORK SHALL BE EXECUTED IN CONFORMANCE WITH ALL CODES AND AS SET FORTH BY ALL GOVERNING AUTHORITIES.
- DO NOT PERFORM ANY STRUCTURAL WORK WITHOUT PRIOR APPROVAL FROM THE STRUCTURAL ENGINEER.
- THE BUILDING ENVELOPE SHALL BE MAINTAINED IN A WATER TIGHT CONDITION AT ALL TIMES. TEMPORARY PARTITIONS / PATCHES TO BE UTILIZED AS NEEDED UNTIL FINAL CONSTRUCTION IS COMPLETED.
- SCHEDULE ALL DEMOLITION WITH THE OWNER.
- IN DEMOLITION REFLECTED CEILING PLANS, CONCRETE STRUCTURE TO REMAIN.
- FLOOR SURFACES THAT ARE NOTED TO BE REMOVED SHOULD BE FULLY DEMOLISHED FROM UNDERNEATH ALL MILLWORK AND FURNITURE, UNO.

**DEMOLITION LEGEND**

- EXISTING CONSTRUCTION TO REMAIN
- EXISTING 2-HR RATED CONSTRUCTION TO REMAIN
- CONSTRUCTION TO BE REMOVED
- CONCRETE FLOOR TO REMAIN.
- EPOXY FLOOR TO BE REMOVED COMPLETELY TO SUBSTRATE.
- LINOLEUM FLOOR TILES TO BE REMOVED TO SUBSTRATE.
- CERAMIC FLOOR TILES TO BE REMOVED TO SUBSTRATE.
- TERRAZZO FLOOR TO REMAIN, PREPARE FOR NEW FINISH.
- CARPET TO BE REMOVED TO SUBSTRATE.

**DEMOLITION NOTES BY NUMBER**

- <<< Indicates Sheet Keynote on Plan
- DM1 REMOVE ALL MILLWORK, REMOVE ALL LAB EQUIPMENT, REFER TO SPECIFICATION 02 41 20.
- DM3 ELECTRICAL EQUIPMENT AND WALLS / DOORS / CEILINGS / FLOORS TO REMAIN, SEE ELEC DRAWINGS.
- DM4 HANDRAIL, GUARDRAIL, AND STAIR TREADS, EXISTING TO REMAIN.
- DM5 REMOVE OVERHEAD CRANE AND ALL ASSOCIATED STRUCTURES.
- DM6 REMOVE KNEE WALLS AND REPLACE WITH TEMPORARY PARTITION.
- DM7 REMOVE CHAIN LINK FENCE, SLAB EDGE TO REMAIN.
- DM8 REMOVE ALL PLUMBING FIXTURES, SEE PLUMBING DRAWINGS.
- DM10 SALVAGE BRICKS AND STORE FOR FUTURE REUSE.
- DM11 EXISTING TRENCH COVERS TO BE REMOVED, STORED, AND REINSTALLED AFTER MECHANICAL DEMOLITION IS COMPLETE.
- DM12 ALTERNATE 1: REMOVE ELEVATOR CAB, COUNTERWEIGHTS, RAILS, DOOR FRAMES, AND DOORS.



**1 FLOOR 01**  
1/8" = 1'-0"



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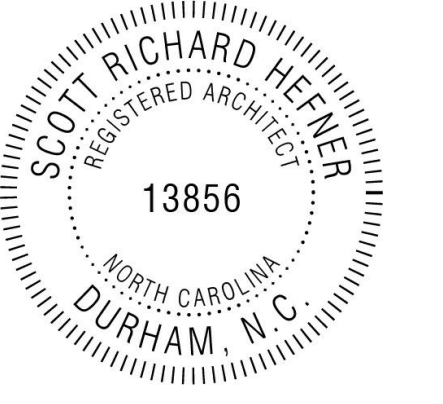
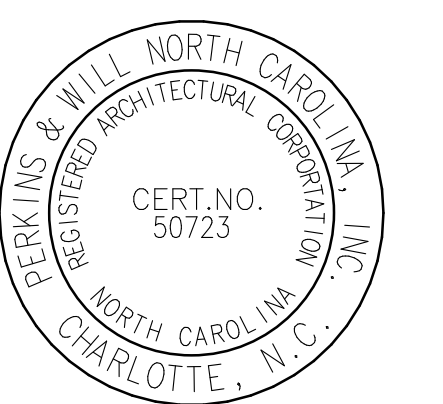
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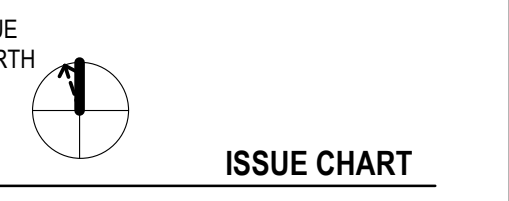
**SUSTAINABILITY**  
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**Mann Hall Renovation**  
STATE ID #22-2450-02B  
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<b>Approved</b>	Approver	
<b>TITLE</b>		

**DEMOLITION PLAN - FLOOR 02**

SHEET NUMBER

**A04-02**

**DEMOLITION GENERAL NOTES**

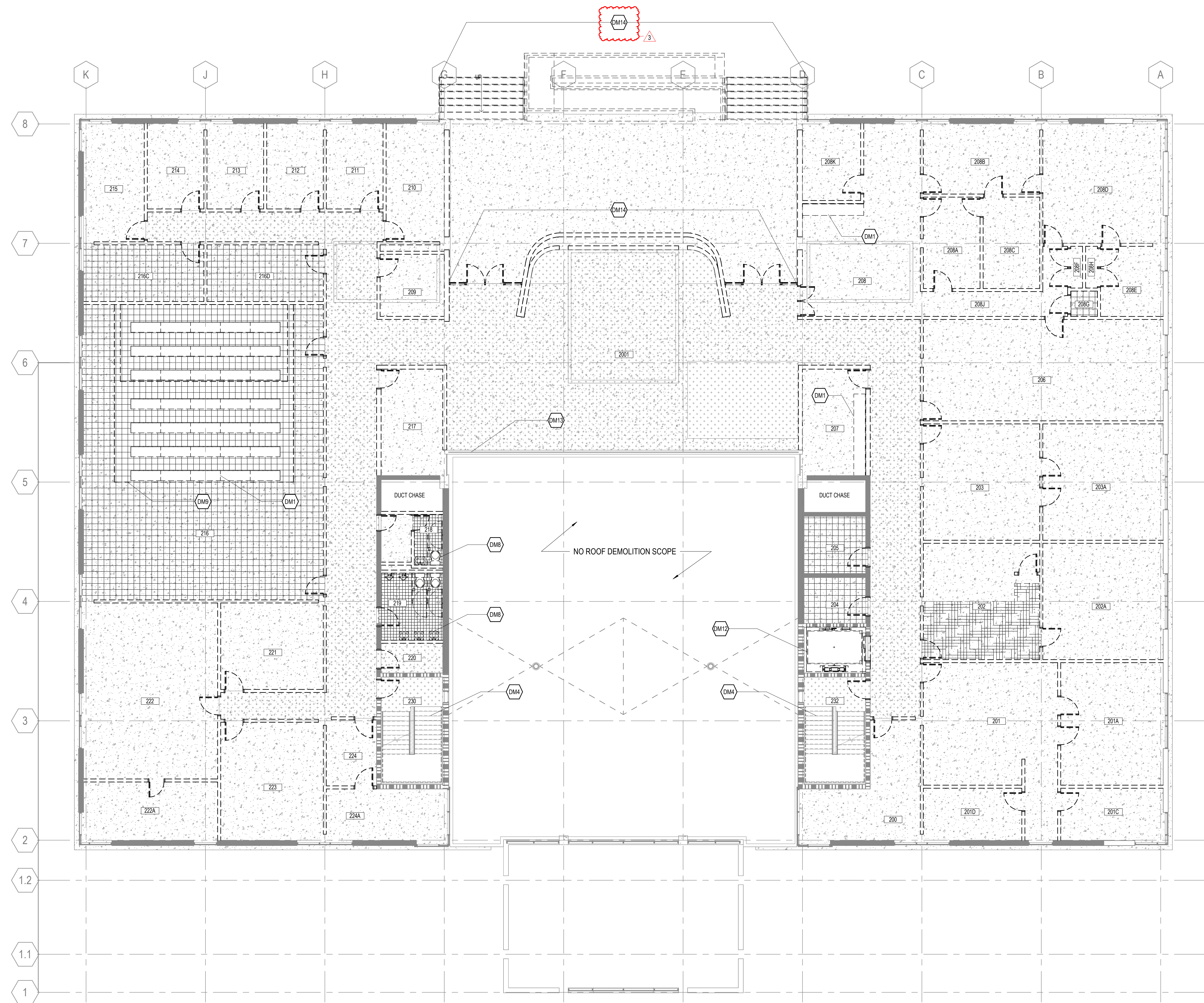
- NO SCOPE OUTSIDE OF THE BUILDING ENVELOPE HAS BEEN IDENTIFIED. WHEN SYSTEMS TO BE DEMOLISHED PENETRATE THE EXTERIOR ENVELOPE, TAKE CARE TO NOT DAMAGE ADJACENT SURFACES.
- THESE DRAWINGS HAVE BEEN DEVELOPED FROM EXISTING DRAWINGS WHICH MAY NOT REFLECT ACTUAL FIELD CONDITIONS. VERIFY THESE DRAWINGS WITH EXISTING FIELD CONDITIONS AND NOTIFY THE ARCHITECT IMMEDIATELY OF INCONSISTENCIES BETWEEN THEM AND ACTUAL CONDITIONS BEFORE PROCEEDING WITH CONSTRUCTION.
- REMOVE CONSTRUCTION AS INDICATED. TYPICAL WALL REMOVAL INCLUDES FINISHES AND MECHANICAL, PLUMBING AND ELECTRICAL SYSTEMS CONTAINED THEREIN. REMOVE DOORS, CASEWORK, WINDOWS, FRAMES, AND OTHER FIXTURES AS REQUIRED. AFTER REMOVAL OF PIPE CHASES, PATCH HOLES IN FLOORS OR WALLS TO REMAIN TO MEET ORIGINAL FIRE PROTECTION AND STRUCTURAL REQUIREMENTS. PATCH ADJOINING WALLS, FLOORS AND DECK, AND PREPARE SURFACES TO RECEIVE NEW FINISHES.
- ASSUME NO SALVAGE / RELOCATION OF MATERIALS UNLESS NOTED OTHERWISE.
- SEE MECHANICAL, PLUMBING, AND ELECTRICAL DRAWINGS FOR DEMOLITION OF UTILITIES.
- DEMOLITION WORK SHALL BE EXECUTED IN CONFORMANCE WITH ALL CODES AND AS SET FORTH BY ALL GOVERNING AUTHORITIES.
- DO NOT PERFORM ANY STRUCTURAL WORK WITHOUT PRIOR APPROVAL FROM THE STRUCTURAL ENGINEER.
- THE BUILDING ENVELOPE SHALL BE MAINTAINED IN A WATER TIGHT CONDITION AT ALL TIMES. TEMPORARY PARTITIONS / PATCHES TO BE UTILIZED AS NEEDED UNTIL FINAL CONSTRUCTION IS COMPLETED.
- SCHEDULE ALL DEMOLITION WITH THE OWNER.
- IN DEMOLITION REFLECTED CEILING PLANS, CONCRETE STRUCTURE TO REMAIN.
- FLOOR SURFACES THAT ARE NOTED TO BE REMOVED SHOULD BE FULLY DEMOLISHED FROM UNDERNEATH ALL MILLWORK AND FURNITURE, UNO.

**DEMOLITION LEGEND**

- EXISTING CONSTRUCTION TO REMAIN
- EXISTING 2-HR RATED CONSTRUCTION TO REMAIN
- CONSTRUCTION TO BE REMOVED
- CONCRETE FLOOR TO REMAIN.
- EPOXY FLOOR TO BE REMOVED COMPLETELY TO SUBSTRATE.
- LINOLEUM FLOOR TILES TO BE REMOVED TO SUBSTRATE.
- CERAMIC FLOOR TILES TO BE REMOVED TO SUBSTRATE.
- TERRAZZO FLOOR TO REMAIN, PREPARE FOR NEW FINISH.
- CARPET TO BE REMOVED TO SUBSTRATE.

**DEMOLITION NOTES BY NUMBER**

- <<< Indicates Sheet Keynote on Plan
- DM1 REMOVE ALL MILLWORK. REMOVE ALL LAB EQUIPMENT. REFER TO SPECIFICATION 02 41 20.
- DM4 HANDRAIL, GUARDRAIL, AND STAIR TREADS, EXISTING TO REMAIN.
- DM8 REMOVE ALL PLUMBING FIXTURES. SEE PLUMBING DRAWINGS.
- DM9 STEPPED PLATFORMS TO BE REMOVED TO ORIGINAL FLOOR LEVEL.
- DM12 ALTERNATE 1: REMOVE ELEVATOR CAB, COUNTERWEIGHTS, RAILS, DOOR FRAMES, AND DOORS.
- DM13 TEMPORARY PARTITIONS TO REMAIN.
- DM14 ALTERNATE 2: REMOVE NORTH ENTRY DOORS, BRICK WALL, SOFFIT, RAMP, AND EXTERIOR STAIRS. PROVIDE TEMPORARY PARTITION AS NEEDED PER GENERAL NOTES.



**1 FLOOR 02**  
1/8" = 1'-0"



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 Lynch Mykns Structural Engineers  
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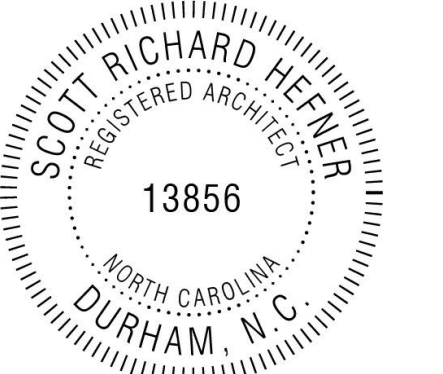
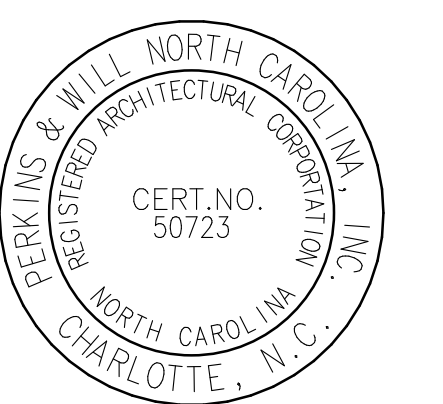
**CIVIL**  
 NV5 Engineers and Consultants  
 3300 Regency Parkway Suite 100, Cary, NC 27518

**CONTRACTOR**  
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 6210 Ardrey Kell Road Suite 400, Charlotte, NC 28277

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 4905 Professional Court, Raleigh, NC 27609

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**SUSTAINABILITY**  
 Ecoimpact Consulting  
 8022 Providence Road Suite 500, Charlotte, NC 28277



**Mann Hall Renovation**  
 STATE ID #22-2450-02B  
 NCSU PROJECT # 202220021



**North Carolina State University**  
 Facilities Division Design & Construction  
 Administrative Services Building III  
 2001 Wolf Village Way, Suite 531  
 Raleigh, NC 27695



**ISSUE CHART**

3	ISSUE FOR BID - DEMO REV 1	10/28/2024
1	ISSUE FOR BID - DEMO	4/17/2024
WORK	ISSUE	DATE
<b>Job Number</b>	820937.001	
<b>Drawn</b>	Author	
<b>Checked</b>	Checker	
<b>Approved</b>	Approver	
<b>TITLE</b>		

**DEMOLITION PLAN - FLOOR 03**

SHEET NUMBER

**A04-03**

**DEMOLITION GENERAL NOTES**

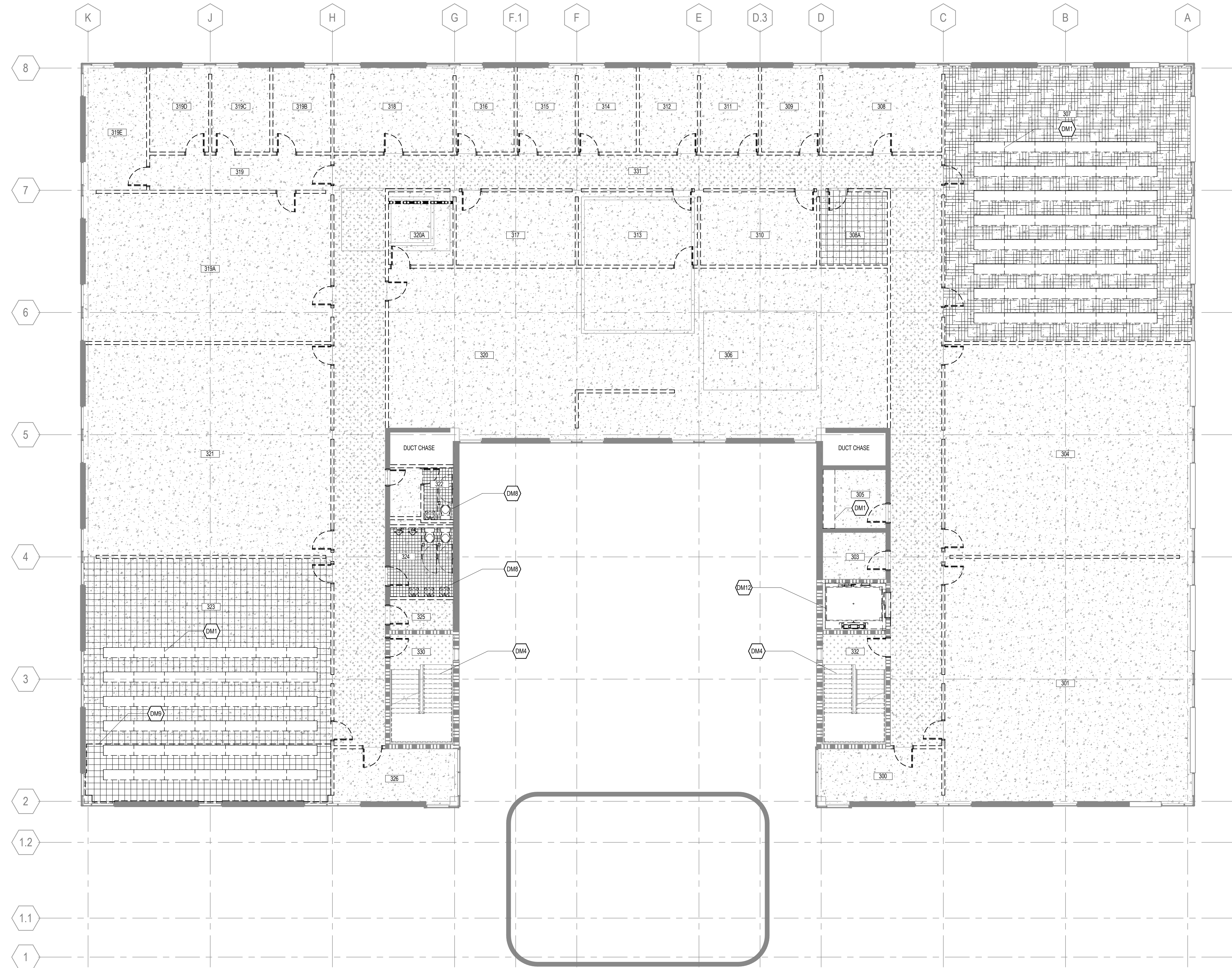
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**DEMOLITION LEGEND**

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- EXISTING 2-HR RATED CONSTRUCTION TO REMAIN
- CONSTRUCTION TO BE REMOVED
- CONCRETE FLOOR TO REMAIN.
- EPOXY FLOOR TO BE REMOVED COMPLETELY TO SUBSTRATE.
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- CARPET TO BE REMOVED TO SUBSTRATE.

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- <<< Indicates Sheet Keynote on Plan
- DM1 REMOVE ALL MILLWORK. REMOVE ALL LAB EQUIPMENT. REFER TO SPECIFICATION 02.41.20.
- DM4 HANDRAIL, GUARDRAIL, AND STAIR TREADS, EXISTING TO REMAIN.
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- DM9 STEPPED PLATFORMS TO BE REMOVED TO ORIGINAL FLOOR LEVEL.
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**1 FLOOR 03**  
 1/8" = 1'-0"



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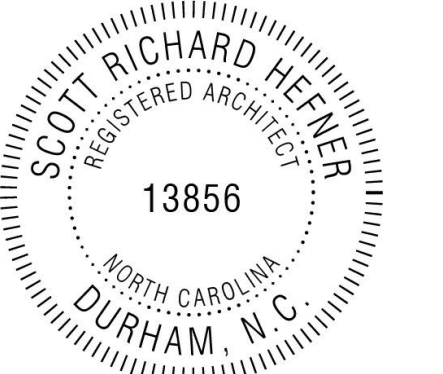
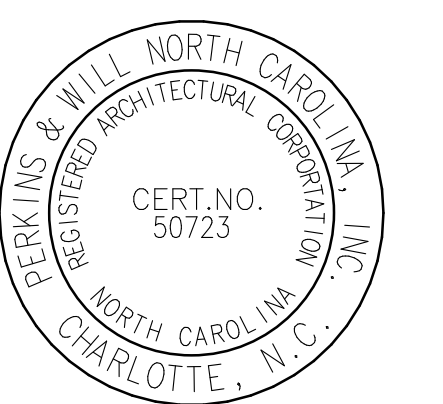
**CIVIL**  
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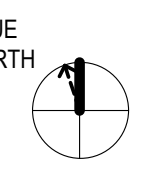
**SUSTAINABILITY**  
 Ecoimpact Consulting  
 8022 Providence Road Suite 500, Charlotte, NC 28277



**Mann Hall Renovation**  
 STATE ID #22-2450-02B  
 NCSU PROJECT # 202220021



**North Carolina State University**  
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 2001 Wolf Village Way, Suite 531  
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**ISSUE CHART**

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1	ISSUE FOR BID - DEMO	4/17/2024
WORK	ISSUE	DATE
<b>Job Number</b>	820937.001	
<b>Drawn</b>	Author	
<b>Checked</b>	Checker	
<b>Approved</b>	Approver	
<b>TITLE</b>		

**DEMOLITION PLAN - FLOOR 04**

**SHEET NUMBER**

**A04-04**

**DEMOLITION GENERAL NOTES**

- NO SCOPE OUTSIDE OF THE BUILDING ENVELOPE HAS BEEN IDENTIFIED. WHEN SYSTEMS TO BE DEMOLISHED PENETRATE THE EXTERIOR ENVELOPE, TAKE CARE TO NOT DAMAGE ADJACENT SURFACES.
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**DEMOLITION LEGEND**

- EXISTING CONSTRUCTION TO REMAIN
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**DEMOLITION NOTES BY NUMBER**

- <<< Indicates Sheet Keynote on Plan
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- DM12 ALTERNATE 1: REMOVE ELEVATOR CAB, COUNTERWEIGHTS, RAILS, DOOR FRAMES, AND DOORS.





**CONSULTANTS**

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301 N. West Street Suite 105, Raleigh, NC 27603

**MEP**  
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702 Oberlin Road, Raleigh, NC 27605  
License (NC): F-1434

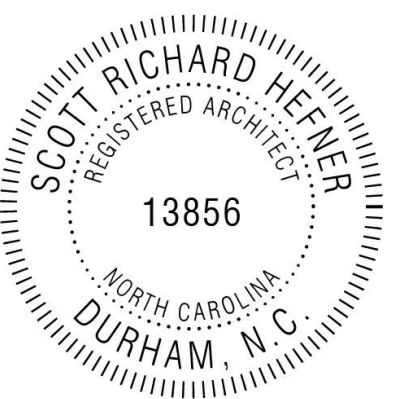
**CIVIL**  
NV5 Engineers and Consultants  
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Available Light  
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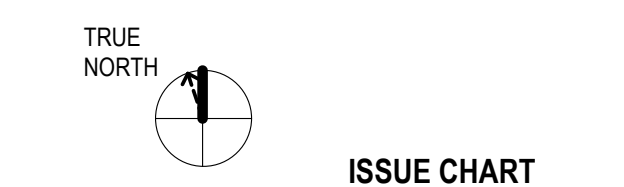
**SUSTAINABILITY**  
Ecoimpact Consulting  
8022 Providence Road Suite 500, Charlotte, NC 28277



**Mann Hall Renovation**  
STATE ID #22-2450-02B  
NCSU PROJECT # 202220021



**North Carolina State University**  
Facilities Division Design & Construction  
Administrative Services Building III  
201 Wolf Village Way, Suite 531  
Raleigh, NC 27695



3	ISSUE FOR BID - DEMO REV 1	10/28/2024
1	ISSUE FOR BID - DEMO	4/17/2024
WORK	ISSUE	DATE
<b>Job Number</b>	820937.001	
<b>Drawn</b>	Author	
<b>Checked</b>	Checker	
<b>Approved</b>	Approver	
<b>TITLE</b>		

**DEMOLITION PLAN - ROOF**

SHEET NUMBER

**A04-05**

**DEMOLITION GENERAL NOTES**

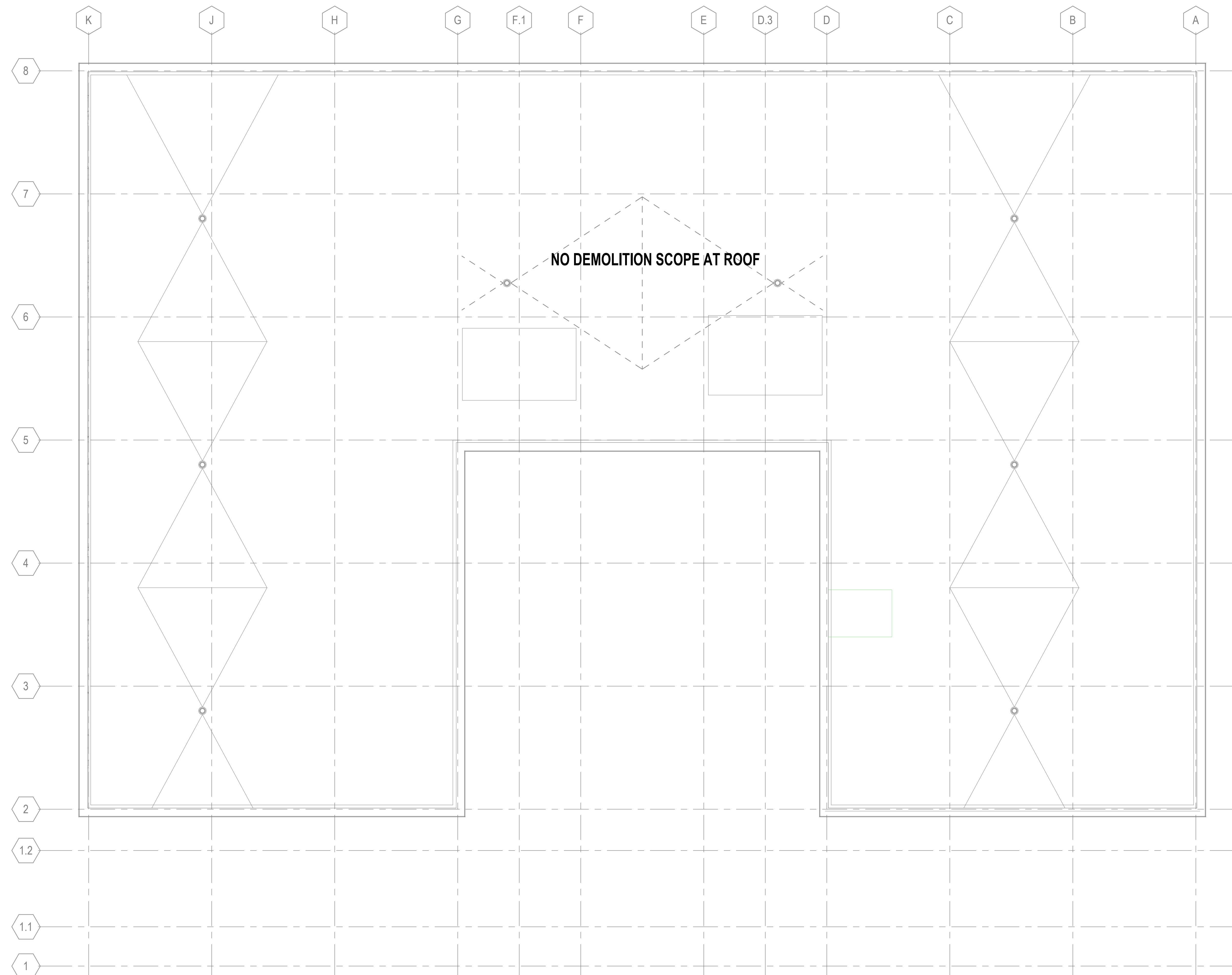
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**DEMOLITION LEGEND**

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- EXISTING 2-HR RATED CONSTRUCTION TO REMAIN
- CONSTRUCTION TO BE REMOVED
- CONCRETE FLOOR TO REMAIN.
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- TERRAZZO FLOOR TO REMAIN, PREPARE FOR NEW FINISH.
- CARPET TO BE REMOVED TO SUBSTRATE.

**DEMOLITION NOTES BY NUMBER**

<<< Indicates Sheet Keynote on Plan



**1 ROOF**  
1/8" = 1'-0"



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**MEP**  
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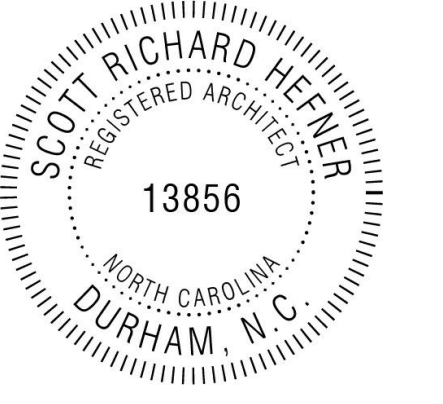
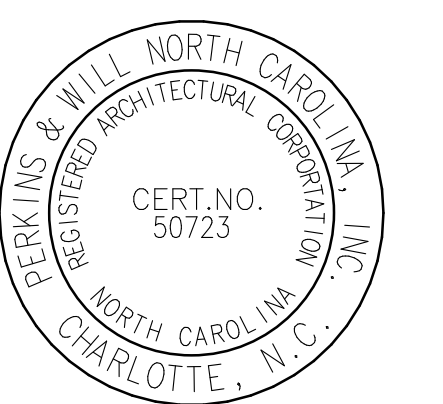
**CIVIL**  
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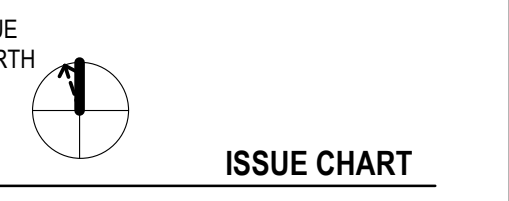
**SUSTAINABILITY**  
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<b>Approved</b>	Approver	
<b>TITLE</b>		

**DEMOLITION REFLECTED CEILING PLAN - FLOOR 01**

SHEET NUMBER

**A04-11**

**DEMOLITION GENERAL NOTES**

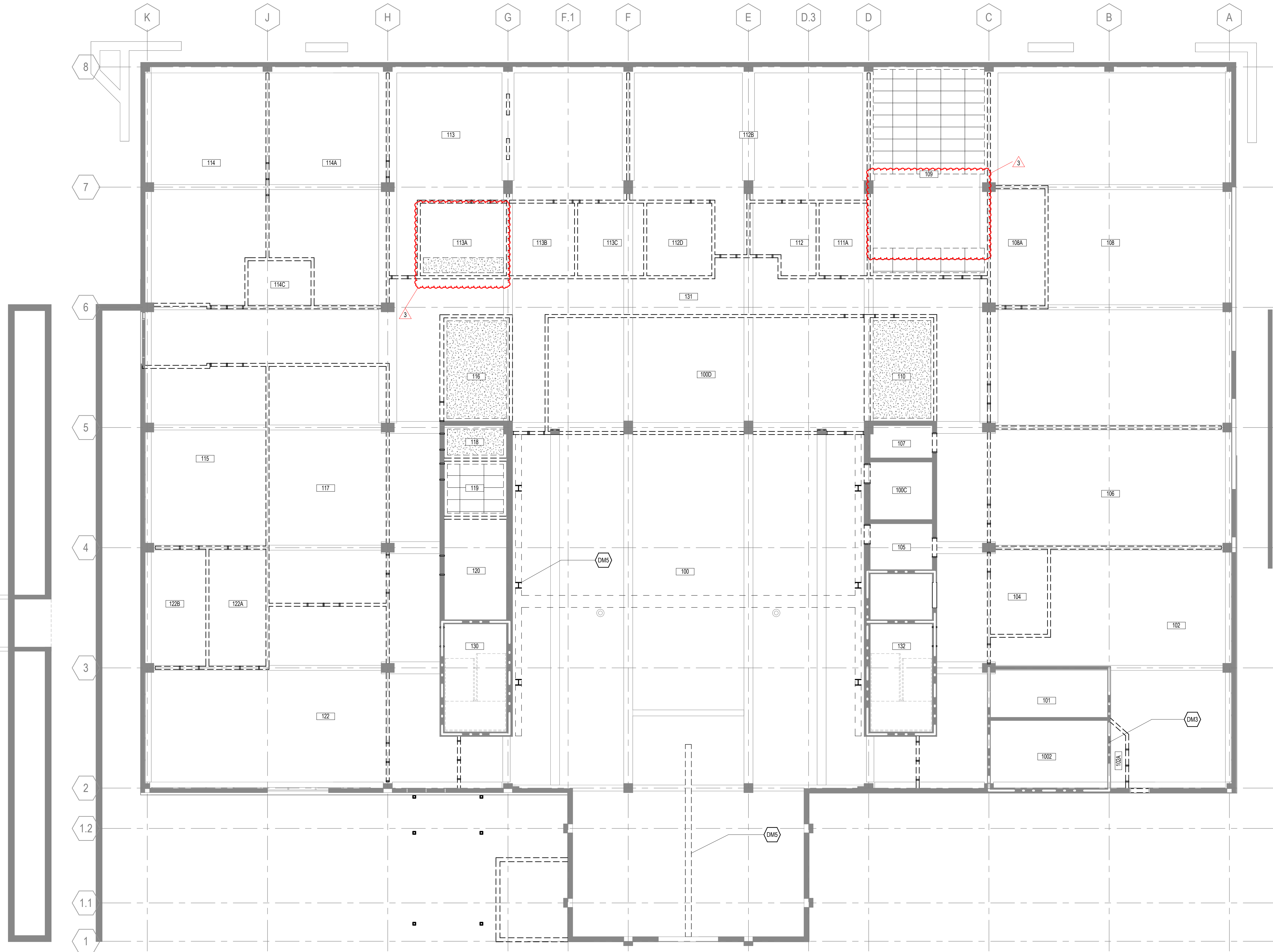
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**DEMOLITION LEGEND**

- EXISTING CONSTRUCTION TO REMAIN
- EXISTING 2 HR RATED CONSTRUCTION TO REMAIN
- CONSTRUCTION TO BE REMOVED
- GYPSUM CEILING TO BE REMOVED.
- STUCCO CEILING TO BE REMOVED.
- 12" x 12" APC TO BE REMOVED.
- 24" x 24" APC TO BE REMOVED.
- 24" x 48" APC TO BE REMOVED.

**DEMOLITION NOTES BY NUMBER**

- <<< Indicates Sheet Keynote on Plan
- DMS ELECTRICAL EQUIPMENT AND WALLS / DOORS / CEILINGS / FLOORS TO REMAIN, SEE ELEC DRAWINGS.
- DMS REMOVE OVERHEAD CRANE AND ALL ASSOCIATED STRUCTURES.



**1 FLOOR 01**  
1/8" = 1'-0"



**CONSULTANTS**

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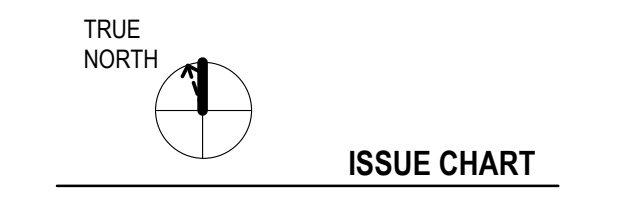
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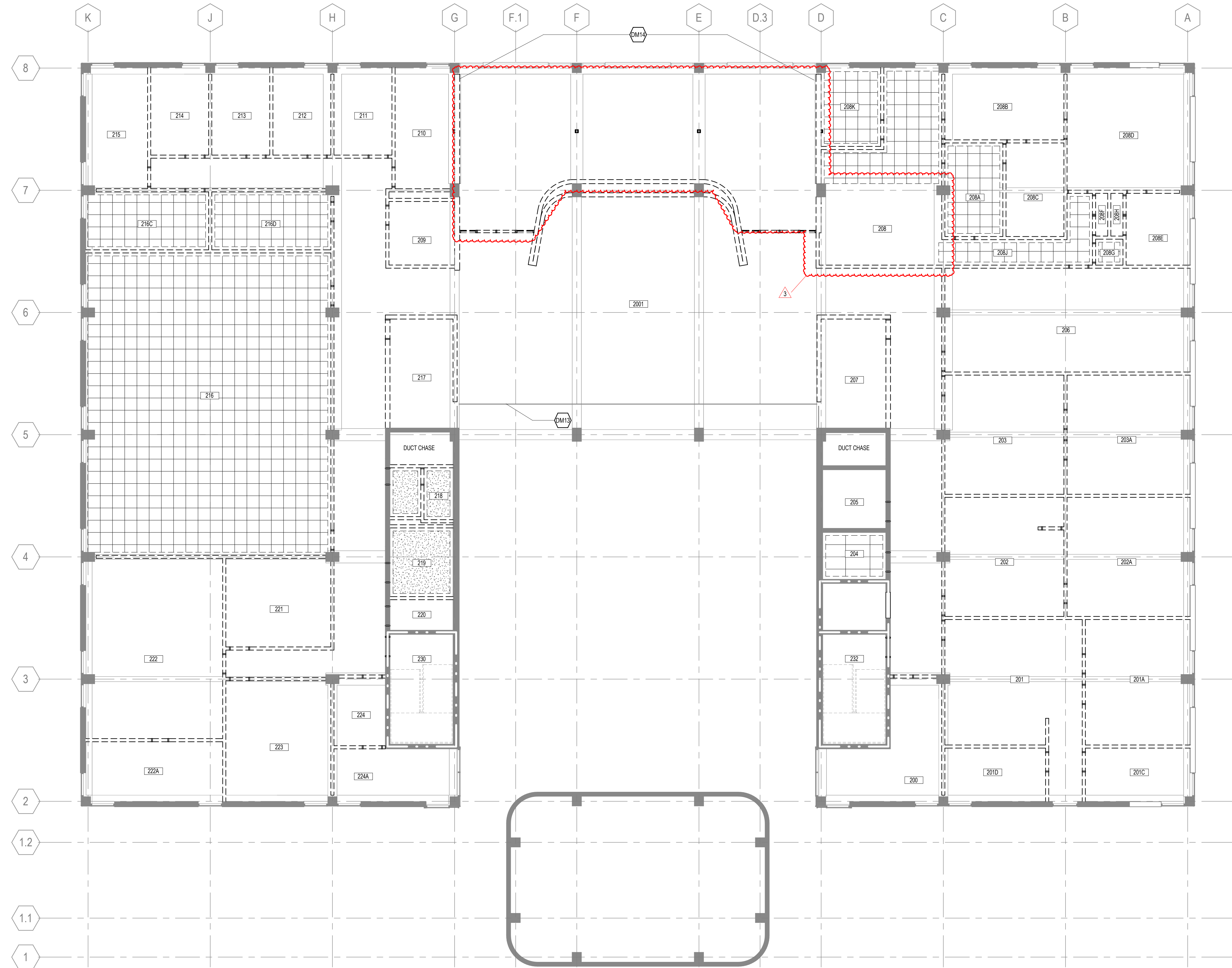
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<b>TITLE</b>		
<b>DEMOLITION REFLECTED CEILING PLAN - FLOOR 02</b>		
<b>SHEET NUMBER</b>		
<b>A04-12</b>		
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- ### DEMOLITION GENERAL NOTES
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- ### DEMOLITION NOTES BY NUMBER
- <<< Indicates Sheet Keynote on Plan
  - DM13. TEMPORARY PARTITIONS TO REMAIN.
  - DM14. ALTERNATE 2: REMOVE NORTH ENTRY DOORS, BRICK WALL, SOFFIT, RAMP, AND EXTERIOR STAIRS. PROVIDE TEMPORARY PARTITION AS NEEDED PER GENERAL NOTES.



**1 FLOOR 02**  
1/8" = 1'-0"



**CONSULTANTS**

**STRUCTURAL**  
Lynch Mykyn Structural Engineers  
301 N. West Street Suite 105, Raleigh, NC 27603

**MEP**  
Salas O'Brien  
702 Oberlin Road, Raleigh, NC 27605  
License (NC): F-1434

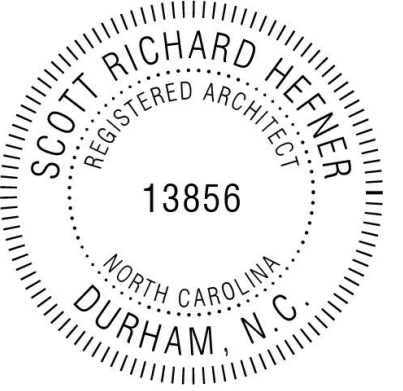
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**SUSTAINABILITY**  
Ecoimpact Consulting  
8022 Providence Road Suite 500, Charlotte, NC 28277



**Mann Hall Renovation**  
STATE ID #22-24500-02B  
NCSU PROJECT # 202220021



**North Carolina State University**  
Facilities Division Design & Construction  
Administrative Services Building III  
2001 Wolf Village Way, Suite 531  
Raleigh, NC 27695



**ISSUE CHART**

3	ISSUE FOR BID - DEMO REV 1	10/28/2024
1	ISSUE FOR BID - DEMO	4/17/2024
WORK	ISSUE	DATE
<b>Job Number</b>	820937.001	
<b>Drawn</b>	Author	
<b>Checked</b>	Checker	
<b>Approved</b>	Approver	

**DEMOLITION REFLECTED CEILING PLAN - FLOOR 03**

SHEET NUMBER

**A04-13**

**DEMOLITION GENERAL NOTES**

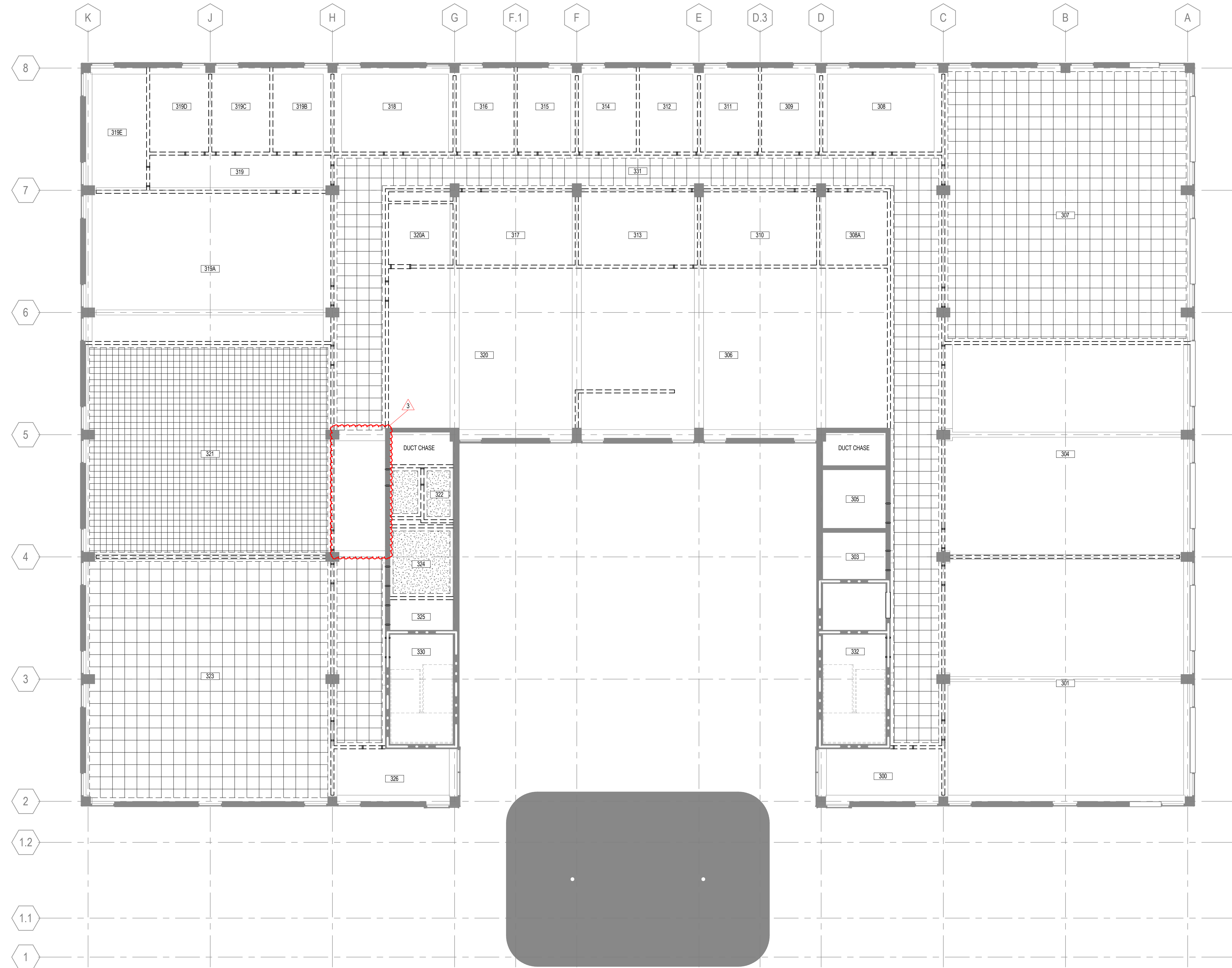
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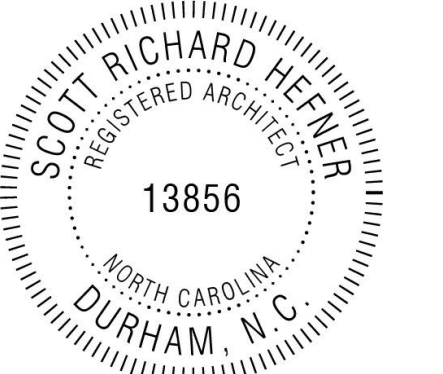
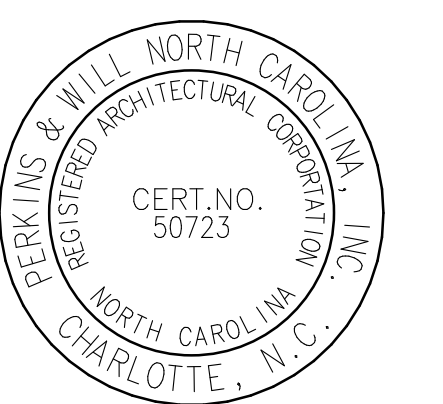
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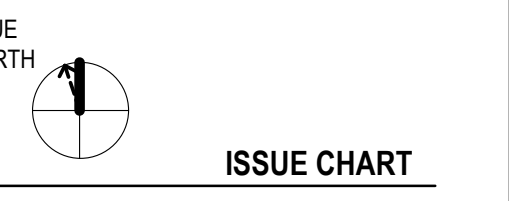
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**TITLE**  
**DEMOLITION REFLECTED CEILING PLAN - FLOOR 04**

SHEET NUMBER

**A04-14**

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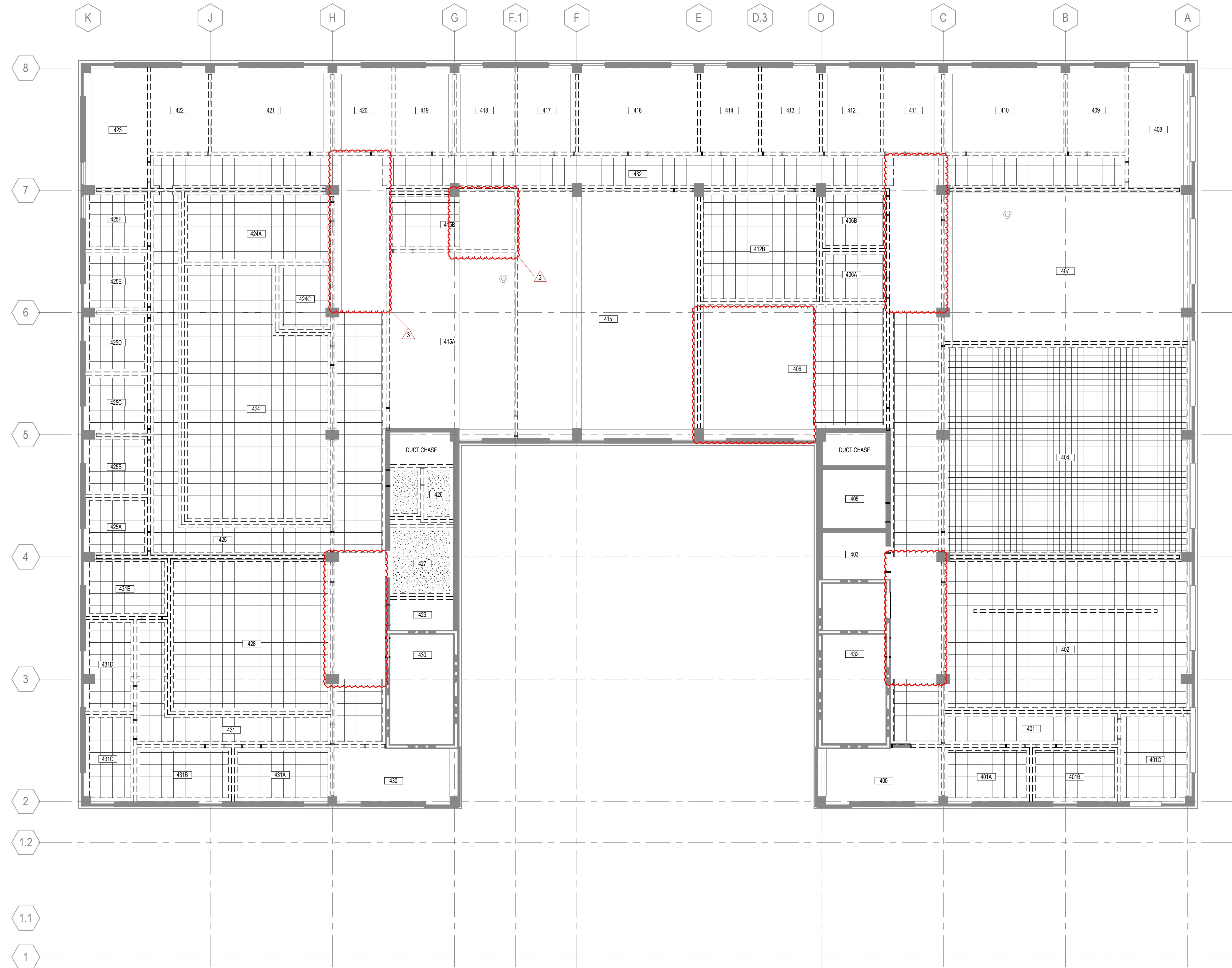
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