

Mann Hall Renovation

17 JANUARY 2025
PW PROJECT #820937.001

Perkins&Will

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Charlotte, NC 28203
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CONSULTANTS

STRUCTURAL
Lynch Mykns Structural Engineers
301 N. West Street Suite 105, Raleigh, NC 27603

MEP
Salas O'Brien
702 Oberlin Road, Raleigh, NC 27605
License (NC): F-1434

CIVIL
NV5 Engineers and Consultants
3300 Regency Parkway Suite 100, Cary, NC 27518

CONTRACTOR
Holder Construction Group
6210 Ardrey Kell Road Suite 400, Charlotte, NC 28277

AUDIO/VISUAL
NV5 Engineers and Consultants
4905 Professional Court, Raleigh, NC 27609

LIGHTING
Available Light
5700 Six Forks Road, Suite 203, Raleigh, NC 27609

SUSTAINABILITY
Ecoimpact Consulting
8022 Providence Road Suite 500, Charlotte, NC 28277

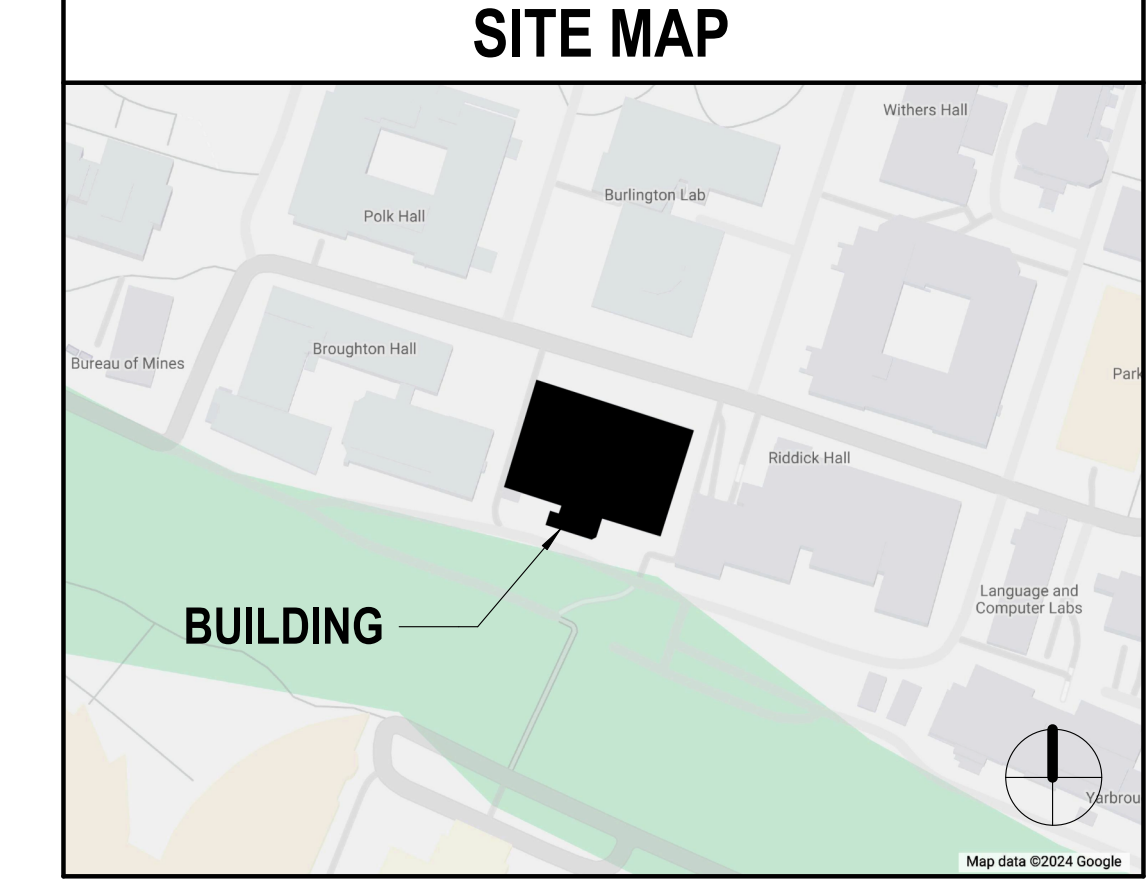
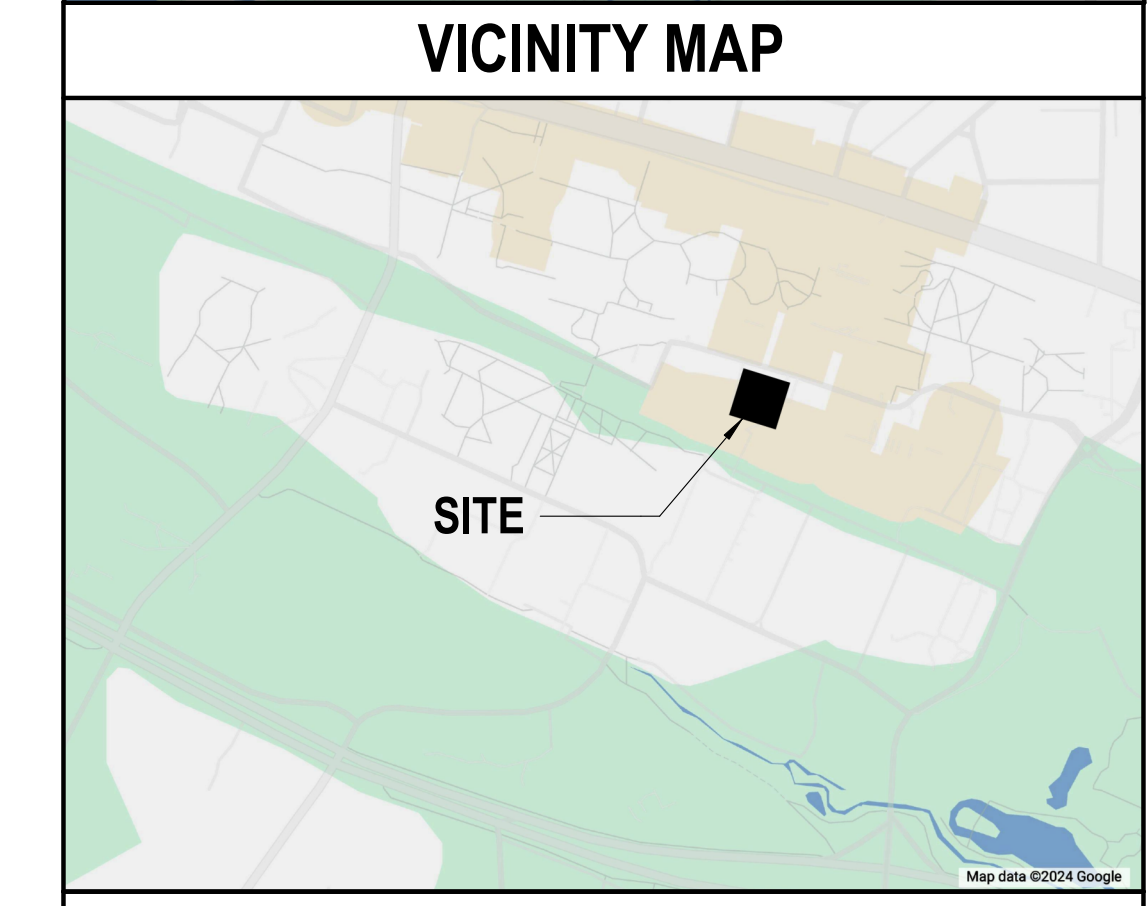
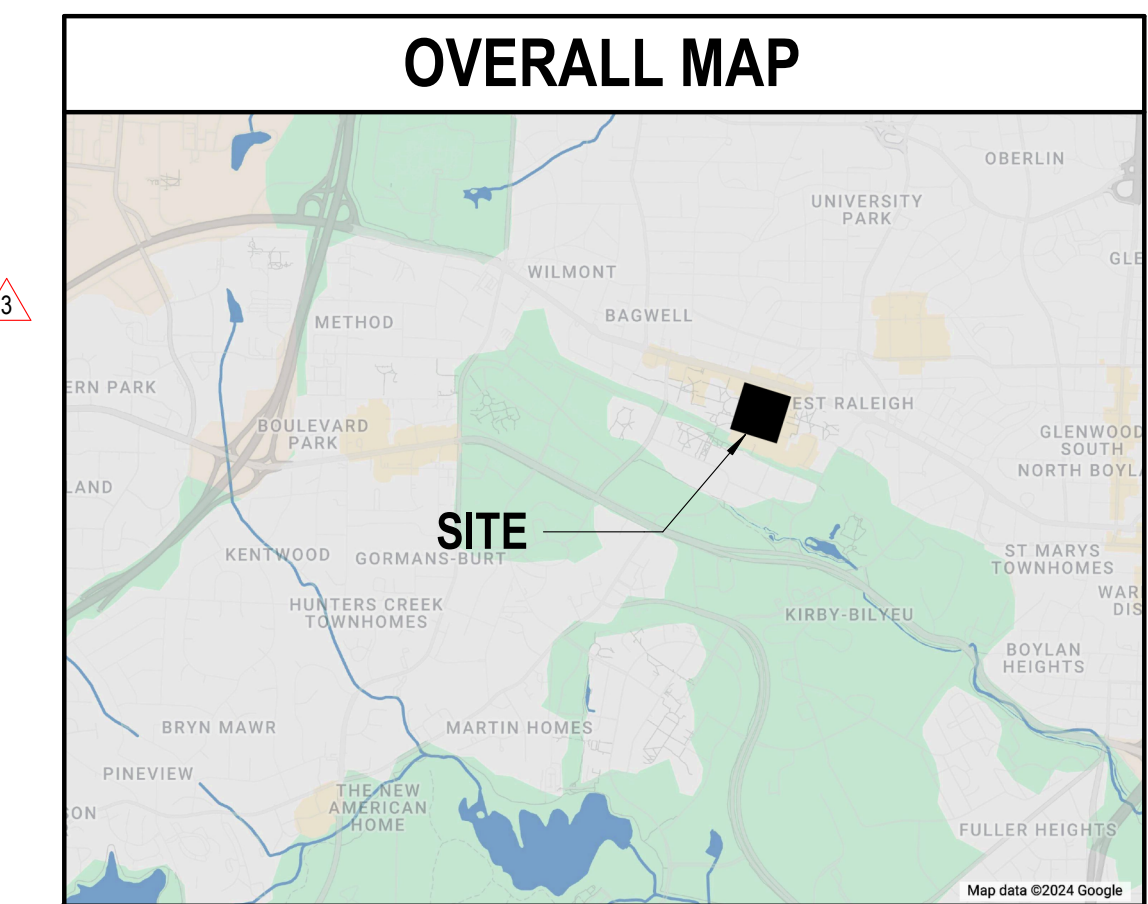
2501 Stinson Dr
Raleigh, NC 27607

CONSTRUCTION DOCUMENTS VOLUME 1

Perkins&Will Perkins&Will

OWNER	ARCHITECT	INTERIOR DESIGN	STRUCTURAL	MEP	CIVIL	CONTRACTOR	AUDIO/VISUAL	LIGHTING	SUSTAINABILITY	STATE CONSTRUCTION OFFICE
North Carolina State University Facilities Division Design & Construction Administrative Services Building III 2601 Wolf Village Way, Suite 331, Raleigh, NC 27695 (919) 515-2011 (TEL)	Perkins&Will 411 W. Chapel Hill Street Suite 200, Durham, NC 27701 (919) 433-5300 (TEL)	Perkins&Will 411 W. Chapel Hill Street Suite 200, Durham, NC 27701 (919) 433-5300 (TEL)	Lynch Mykns Structural Engineers 301 N. West Street Suite 105, Raleigh, NC 27603 (919) 782-1833 (TEL)	Salas O'Brien 702 Oberlin Road, Raleigh, NC 27605 License (NC): F-1434 (919) 832-8118 (TEL)	NV5 Engineers and Consultants 3300 Regency Parkway Suite 100, Cary, NC 27518 (919) 836-4800 (TEL)	Holder Construction Group 6210 Ardrey Kell Road Suite 400, Charlotte, NC 28277 (704) 357-4200 (TEL)	NV5 Engineers and Consultants 4905 Professional Court, Raleigh, NC 27609 (919) 876-9799 (TEL)	Available Light 5700 Six Forks Road, Suite 203, Raleigh, NC 27609 (212) 977-2611 (TEL)	Ecoimpact Consulting 8022 Providence Road Suite 500, Charlotte, NC 28277 (212) 977-2611 (TEL)	301 N Wilmington St # 450, Raleigh, NC 27601 (919) 807-4100 (TEL)

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P04-02	DEMOLITION PLAN - FLOOR 02	04/17/2024	10/28/2024	--
P04-03	DEMOLITION PLAN - FLOOR 03	04/17/2024	10/28/2024	--
P04-04	DEMOLITION PLAN - FLOOR 04	04/17/2024	10/28/2024	--
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M04-04	DEMOLITION PLAN - FLOOR 04	04/17/2024	10/28/2024	--
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E04-03	DEMOLITION PLAN - FLOOR 03	04/17/2024	10/28/2024	--
E04-04	DEMOLITION PLAN - FLOOR 04	04/17/2024	10/28/2024	--
E04-05	DEMOLITION PLAN - ROOF	04/17/2024	10/28/2024	--



Mann Hall Renovation
STATE ID #22-2450-028
NC SU PROJECT # 202220021



North Carolina State University
Facilities Division Design & Construction
Administrative Services Building III
2601 Wolf Village Way, Suite 331
Raleigh, NC 27695



3	ISSUE FOR BID - PROC	01/17/2025
2	ISSUE FOR BID - DEMO REV 1	10/28/2024
1	ISSUE FOR BID - DEMO	04/17/2024
MARK	ISSUE	DATE
Job Number 820937.001		
Drawn	Author	
Checked	Checker	
Approved	Approver	
TITLE		

COVER SHEET AND
INDEX OF DRAWINGS

SHEET NUMBER

G00-00

2018 APPENDIX B BUILDING CODE SUMMARY FOR ALL COMMERCIAL PROJECTS (EXCEPT 1 AND 2-FAMILY DWELLINGS AND TOWNHOUSES)

(Reproduce the following data on the building plans sheet 1 or 2)

PROJECT INFORMATION

Name of Project: MANH HALL RENOVATION
 Address: 2501 STINSON DRIVE, RALEIGH, NC 27607 ZIP Code: 27607
 Owner/Authorized Agent: MIKE BELL, NORTH CAROLINA STATE UNIVERSITY Phone # (919) 913-1729 E-Mail mbell@ncsu.edu
 Owned By: City County State Private
 Code Enforcement Jurisdiction: City County State

CONTACTS

DESIGNER	FIRM	NAME	LICENSE #	TELEPHONE #	E-MAIL
Architectural	PERKINS+WILL	SCOTT HEFFNER	13886	919-433-0208	scott.heffner@perkinswill.com
Civil	NVS	MICHAEL ALLEN	22514	919-858-1888	michael.allen@nvs.com
Electrical	SALAS O'BRIEN	MATT JOHNSON	03852	844-200-9026	matt.johnson@salasobrien.com
Fire Alarm	SALAS O'BRIEN	ADAM SPIGOT	04048	844-200-9024	adam.spigot@salasobrien.com
Plumbing	SALAS O'BRIEN	TOM WARD	05114	844-200-9024	tom.ward@salasobrien.com
Mechanical	SALAS O'BRIEN	SCOTT FRANCIS	04496	919-780-1813	scott.francis@salasobrien.com
Sprinkler-Standpipe	SALAS O'BRIEN				
Structural	LYNCH MYKINS				
Retaining Walls >5' High					
Other					

("Other" should include firms and individuals such as truss, precast, pre-engineered, interior designers, etc.)

BUILDING CODE

2018 NC BUILDING CODE: New Building Addition Renovation First Time Interior Completion
 Shell/Core - Contact the local inspection jurisdiction for possible additional procedures & requirements
 Phased Construction - Shell/Core - Contact the local inspection jurisdiction for possible additional procedures & requirements

2018 NC EXISTING BUILDING CODE: N/A Prescriptive Repair Chapter 14 Alteration Level I Alteration Level II Alteration Level III
 Historic Property Change of Use

CONSTRUCTED: (date) 1984 CURRENT OCCUPANCY(S): (Ch. 3) B
 RENOVATED: (date) _____ PROPOSED OCCUPANCY(S): (Ch. 3) B

OCCUPANCY CATEGORY (Table 1604.5): Current: N/A I II III IV
 Proposed: N/A I II III IV

BASIC BUILDING DATA

Construction Type: I-A II-A III-A IV V-A
 I-B II-B III-B V-B

Sprinklers: N/A Yes No Partial N/A NFPA 13 NFPA 13R NFPA 13D

Standpipes: N/A No Class I II III Wet Dry

Primary Fire District: No Yes **Flood Hazard Area:** No Yes

Special Inspections Required: No Yes (Contact the local inspection jurisdiction for additional procedures and requirements)

Gross Building Area Table

FLOOR	EXISTING (SQ FT)	RENOVATED (SQ FT)	NEW (SQ FT)	SUB-TOTAL
FLOOR 4	18,646	18,646	-	18,646
FLOOR 3	18,646	18,646	-	18,646
FLOOR 2	16,941	16,941	-	16,941
FLOOR 1	23,291	23,291	-	23,291
TOTAL	77,524	77,524		77,524

ALLOWABLE AREA

Primary Occupancies: A-1 A-2 A-3 A-4 A-5
 Assembly Business Educational Factory F-1 Moderate F-2 Low H-3 Combust H-4 Health H-5 HPM
 Hazardous H-1 Detonate H-2 Deftagrate I-3 I-4 Institutional I-1 I-2 I-3 I-4 I-5
 I-3 Condition 1 2 3 4 5

Mercantile Residential R-1 R-2 R-3 R-4
 Storage S-1 Moderate S-2 Low High-piled Storage (Parking Garage) Open Enclosed Repair
 Utility and Miscellaneous

Accessory Occupancy Classifications) N/A - DEMOLITION/EARLY PROCUREMENT ONLY
 Incidental Uses (Table 509): N/A - DEMOLITION/EARLY PROCUREMENT ONLY

Special Uses: 402 403 404 405 406 407 408 409 410 411 412
 (Ch 4 - List Code Sections) 413 414 415 416 417 418 419 420 421 422 423
 424 425 426 427

Special Provisions (Ch 5 - List Code Sections): _____
 Mixed Occupancy: No Yes Separation: _____ Hr. Exception: _____

Yes No Non-Separated Use (508.3) Separated Use (508.4) See below for area calculations for each story, the area of the occupancy shall be such that the sum of the ratios of the actual floor area of each use divided by the allowable floor area for each use shall not exceed 1.

$$\frac{\text{Actual Area of Occupancy A}}{\text{Allowable Area of Occupancy A}} + \frac{\text{Actual Area of Occupancy B}}{\text{Allowable Area of Occupancy B}} \leq 1$$

STORY NO.	DESCRIPTION AND USE	(A) BLDG. AREA PER STORY (ACTUAL)	(B) TABLE 506.2 AREA	(C) AREA FOR FRONTAGE INCREASE ^{1,2}	(D) ALLOWABLE AREA PER STORY OR UNLIMITED ^{3,4}
4	BUSINESS/UNOCCUPIED	18,646 SF	23,000 SF	14,375 SF	37,375 SF
3	BUSINESS/UNOCCUPIED	18,646 SF	23,000 SF	14,375 SF	37,375 SF
2	BUSINESS/UNOCCUPIED	16,941 SF	23,000 SF	14,375 SF	37,375 SF
1	BUSINESS/UNOCCUPIED	23,291 SF	23,000 SF	14,375 SF	37,375 SF

¹ Frontage area increases from Section 506.2 are computed thus:
 a. Perimeter which fronts a public way or open space having 20 feet minimum width = 410 (F)
 b. Total Building Perimeter = 410 (P)
 c. Ratio (F/P) = 1.0 (FP)
 d. W = Minimum width of public way = 20 (W)
 e. Percentage of frontage increase = $1 + [(F/P) - 0.25] \times (W/30) = 85.1\%$ (%)
² Unlimited area applicable under conditions of Section 507.
³ Maximum Building Area = total number of stories in the building x D (maximum 3 stories) (506.2).
⁴ The maximum area of open parking garages must comply with Table 406.5.4. The maximum area of air traffic control towers must comply with Table 412.3.1.
⁵ Frontage increase is based on the unspinklered area value in Table 506.2

ALLOWABLE HEIGHT

	ALLOWABLE	SHOWN ON PLANS	CODE REFERENCE
Building Height in Feet (Table 504.3)	55 FT	EXISTING TO REMAIN - 55 FT	
Building Height in Stories (Table 504.4)	3 STORIES	EXISTING TO REMAIN - 3 STORIES	

¹ Provide code reference if the "Shown on Plans" quantity is not based on Table 504.3 or 504.4.

FIRE PROTECTION REQUIREMENTS

BUILDING ELEMENT	FIRE SEPARATION DISTANCE (FEET)	RATING REQ'D	PROVIDED (W/ REDUCTION)	DETAIL # AND SHEET #	DESIGN # FOR RATED ASSEMBLY	SHEET # FOR RATED PENETRATION	SHEET # FOR RATED JOINTS
Structural Frame, including columns, girders, trusses							
Bearing Walls							
North	98 FT	0	EXISTING TO REMAIN				
East	35 FT	0	EXISTING TO REMAIN				
West	37 FT	0	EXISTING TO REMAIN				
South	137 FT	0	EXISTING TO REMAIN				
Interior	-	0	EXISTING TO REMAIN				
Nonbearing walls and Partitions							
Exterior walls	-	0	EXISTING TO REMAIN				
North	-	0	EXISTING TO REMAIN				
East	-	0	EXISTING TO REMAIN				
West	-	0	EXISTING TO REMAIN				
South	-	0	EXISTING TO REMAIN				
Interior walls and partitions	-	0	EXISTING TO REMAIN				
Floor Construction including supporting beams and joists							
Floor / Ceiling Assembly	-	0	EXISTING TO REMAIN				
Columns Supporting Floors							
Columns Supporting Floors	-	0	EXISTING TO REMAIN				
Roof Construction including supporting beams and joists							
Roof Ceiling Assembly	-	0	EXISTING TO REMAIN				
Columns Supporting Roof							
Columns Supporting Roof	-	0	EXISTING TO REMAIN				
Shaft Enclosures - Exit							
Shaft Enclosures - Exit	-	2	EXISTING TO REMAIN				
Shaft Enclosures - Other							
Shaft Enclosures - Other	-	2	EXISTING TO REMAIN				
Corridor Separation							
Corridor Separation	-	N/A					
Occupancy / Fire Barrier Separation							
Occupancy / Fire Barrier Separation	-	N/A					
Party/Fire Wall Separation							
Party/Fire Wall Separation	-	N/A					
Smoke Barrier Separation							
Smoke Barrier Separation	-	N/A					
Smoke Partition							
Smoke Partition	-	N/A					
Tenant / Dwelling Unit / Sleeping Unit Separation							
Tenant / Dwelling Unit / Sleeping Unit Separation	-	N/A					
Incidental Use Separation							
Incidental Use Separation	-	N/A					

* Indicate section number permitting reduction

PERCENTAGE OF WALL OPENING CALCULATIONS

FIRE SEPARATION DISTANCE (FEET) FROM PROPERTY LINES	DEGREE OF OPENINGS PROTECTION (TABLE 705.8)	ALLOWABLE AREA (%)	ACTUAL SHOWN ON PLANS (%)
NORTH & SOUTH - GREATER THAN 30'	UNPROTECTED, NONSPRINKLERED	UNLIMITED	
EAST - 20'	UNPROTECTED, NONSPRINKLERED	70%	35% (EXISTING TO REMAIN)
WEST - 20'	UNPROTECTED, NONSPRINKLERED	70%	37% (EXISTING TO REMAIN)

LIFE SAFETY SYSTEM REQUIREMENTS

Emergency Lighting: No Yes
 Exit Signs: No Yes
 Fire Alarm: No Yes
 Smoke Detection Systems: No Yes Partial
 Carbon Monoxide Detection: No Yes

LIFE SAFETY PLAN REQUIREMENTS

Life Safety Plan Sheet #: _____

Fire alarm smoke rated wall locations (Chapter 7)
 Assumed and/or property line locations (if not on the site plan)
 Exterior wall opening areas with respect to distance to assumed property lines (705.8)
 Occupancy Use for each area as it relates to occupancy calculation (Table 1004.1.2)
 Occupant loads for each area
 Exit access travel distances (1017)
 Common path of travel distances (Tables 1005.2.1 & 1005.3.2(1))
 Dead end lengths (1020.4)
 Clear exit widths for each exit door
 Maximum calculated occupant load capacity each exit door can accommodate based on egress width (1005.3)
 Actual occupant load for each exit door
 A separate schematic plan indicating where fire rated floor/ceiling and/or roof structure is provided for purposes of occupancy separation
 Location of doors with panic hardware (1010.4.10)
 Location of doors with delayed egress locks and the amount of delay (1010.1.9.7)
 Location of doors with electromagnetic egress locks (1010.1.9.9)
 Location of doors equipped with hold-open devices
 Location of emergency escape windows (1030)
 The square footage of each fire area (202)
 The square footage of each smoke compartment for Occupancy Classification I-2 (407.5)
 Note any code exceptions or table notes that may have been utilized regarding the items above

ACCESSIBLE DWELLING UNITS (SECTION 1107)

TOTAL UNITS	ACCESSIBLE UNITS REQUIRED	ACCESSIBLE UNITS PROVIDED	TYPE A UNITS REQUIRED	TYPE A UNITS PROVIDED	TYPE B UNITS REQUIRED	TYPE B UNITS PROVIDED	TOTAL ACCESSIBLE UNITS PROVIDED

ACCESSIBLE PARKING (SECTION 1106)

LOT OR PARKING AREA	TOTAL # OF PARKING SPACES		# OF ACCESSIBLE SPACES PROVIDED		TOTAL # ACCESSIBLE SPACES PROVIDED
	REQUIRED	PROVIDED	REGULAR WITH 5' ACCESS AISLE	132" ACCESS AISLE	
TOTAL					

PLUMBING FIXTURE REQUIREMENTS (TABLE 2902.1)

USE	WATERCLOSETS			URINALS			LAVATORIES			SHOWERS/TUBS		DRINKING FOUNTAINS	
	MALE	FEMALE	UNISEX	MALE	FEMALE	UNISEX	MALE	FEMALE	UNISEX	REGULAR	ACCESSIBLE	REGULAR	ACCESSIBLE
SPACE													
EXIST'G													
NEW													
REQ'D													

SPECIAL APPROVALS

Special Approval: (Local Jurisdiction, Department of Insurance, OCS, DPI, DHHS, etc., describe below)
 NONE

ENERGY REQUIREMENTS

The following data shall be considered minimum and any special attribute required to meet the energy code shall also be provided. Each Designer shall furnish the required portions of the project information for the plan data sheet. If performance method, state the annual energy cost for the standard reference design vs annual energy cost for the proposed design.

Existing building envelope comply with code: No Yes (The remainder of this section is not applicable)

Exempt Building: No Yes Provide code or statutory reference: _____

Climate Zone: N/A 3A 4A 5A

Method of Compliance: Energy Code - Performance Energy Code - Prescriptive ASHRAE 90.1 - Performance ASHRAE 90.1 - Prescriptive
 Other - Performance (Specify source here)

ENERGY SUMMARY

THERMAL ENVELOPE (Prescriptive method only)

Roofing Assembly (each assembly) EXEMPT

Description of assembly: _____
 U-Value of total assembly: _____
 R-Value of insulation: _____
 Skylights in each assembly:
 U-Value of skylight: _____
 Total square footage of skylights in each assembly: _____

Exterior Walls (each assembly) EXEMPT

Description of assembly: _____
 U-Value of total assembly: _____
 R-Value of insulation: _____
 Openings (windows or doors with glazing)
 U-Value of assembly: _____
 Solar heat gain coefficient: _____
 Projection factor: _____
 Door R-Values: _____

Walls below grade (each assembly) EXEMPT

Description of assembly: _____
 U-Value of total assembly: _____
 R-Value of insulation: _____

Floors over unconditioned space (each assembly) EXEMPT

Description of assembly: _____
 U-Value of total assembly: _____
 R-Value of insulation: _____

Floors slab on grade EXEMPT

Description of assembly: _____
 U-Value of total assembly: _____
 R-Value of insulation: _____
 Horizontal/vertical requirement: _____

STRUCTURAL DESIGN

(PROVIDE ON THE STRUCTURAL SHEETS IF APPLICABLE)

DESIGN LOADS

Importance Factors: Snow (I) 0.80 1.0 1.1 1.2
 Seismic (I) 1.0 1.25 1.5

Live Loads: Roof _____ psf
 Mezzanine _____ psf
 Floor _____ psf

Ground Snow Load: _____ psf

Live Loads: Basic Wind Speed _____ mph (ASCE-7)
 Exposure Category N/A B C D

SEISMIC DESIGN

Seismic Design Category: N/A A B C

Provide the following Seismic Design Parameters:
 Risk Category (Table 1604.5) N/A I II III IV
 Spectral Response Acceleration: S_s _____ % S_1 _____ %
 Site Classification (ASCE 7): N/A A B C D E F
 Data Source: N/A Field Test Presumptive Historical Data

Basic structural system: N/A Bearing Wall Building Frame Moment Frame Dual w/ Special Moment Frame
 Dual w/ Intermediate R/C or Special Steel Inverted Pendulum

Analysis Procedure: N/A Simplified Equivalent Lateral Force Dynamic

Architectural, Mechanical, Components anchored? N/A Yes No

Lateral Design Control: N/A Earthquake Wind

Soil Bearing Capacities: N/A Field Test (Provide copy of test report) Presumptive Bearing Capacity _____ psf
 Pile size, type, and capacity: _____

MECHANICAL DESIGN

(PROVIDE ON THE MECHANICAL SHEETS IF APPLICABLE)

MECHANICAL SYSTEMS, SERVICE SYSTEMS, & EQUIPMENT

Thermal zone: winter dry bulb: _____
 summer dry bulb: _____
 relative humidity: _____

Interior design conditions: winter dry bulb: _____
 summer dry bulb: _____
 relative humidity: _____

Building heating load: _____
 Building cooling load: _____

Mechanical Spacing Conditioning System
 Unitary description of unit: _____
 heating efficiency: _____
 cooling efficiency: _____
 size category of unit: _____

Boiler size category, J oversize, state reason: _____
 Chiller size category, J oversize, state reason: _____

List Equipment efficiencies: _____

ELECTRICAL DESIGN

(PROVIDE ON THE ELECTRICAL SHEETS IF APPLICABLE)

ELECTRICAL SYSTEM & EQUIPMENT

Method of Compliance: N/A Energy Code - Prescriptive Energy Code - Performance
 ASHRAE 90.1 - Prescriptive ASHRAE 90.1 - Performance

Lighting schedule (each fixture type)
 lamp type required in fixture _____
 number of lamps in fixture _____
 ballast type used in the fixture _____
 number of ballasts in fixture _____
 total wattage per fixture _____
 total interior wattage specified vs. allowed (whole building or space by space) _____
 total exterior wattage specified vs. allowed _____

Additional Efficiency Package Options (When using the 2018 NCECC, not required for ASHRAE 90.1)
 C406.2 More Efficient HVAC Equipment Performa
 C406.3 Regulated Lighting Power Density
 C406.4 Enhanced Digital Lighting Controls
 C406.5 On-Site Renewable Energy
 C406.6 Dedicated Outdoor Air System
 C406.7 Reduced Energy Use in Service Water Heating

Perkins+Will

411 W. Chapel Hill Street
 Suite 200
 Durham, NC 27701
 1.919.433.5300
 www.perkinswill.com

CONSULTANTS

STRUCTURAL
 Lynch Mykns Structural Engineers
 301 N. West Street Suite 105, Raleigh, NC 27603

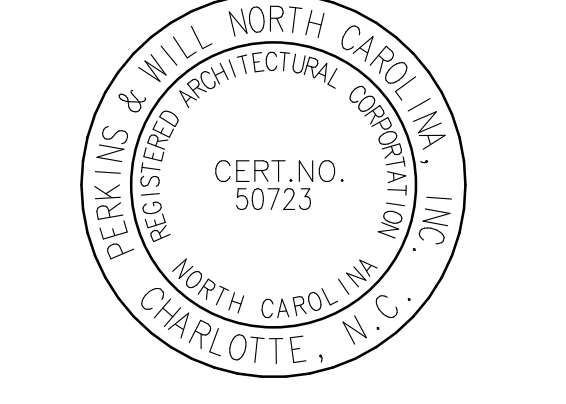
MEP
 Salas O'Brien
 702 Oberlin Road, Raleigh, NC 27605
 License (NC): F-1434
 CIVIL
 NVS Engineers and Consultants
 3300 Regency Parkway Suite 100, Cary, NC 27518

CONTRACTOR
 Holder Construction Group
 6210 Audrey Kell Road Suite 400, Charlotte, NC 28277

ARCHITECTURAL
 NVS Engineers and Consultants
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LIGHTING
 Available Light
 5700 Six Forks Road, Suite 203, Raleigh, NC 27609

SUSTAINABILITY
 Ecoimpad Consulting
 8022 Providence Road Suite 500, Charlotte, NC 28277



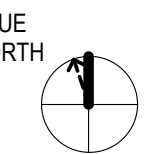
Mann Hall Renovation

STATE ID #22-24500-02B
NCSU PROJECT # 202220021



North Carolina State University

Facilities Division Design & Construction
Administrative Services Building III
201 Wolf Village Way, Suite 511
Raleigh, NC 27695



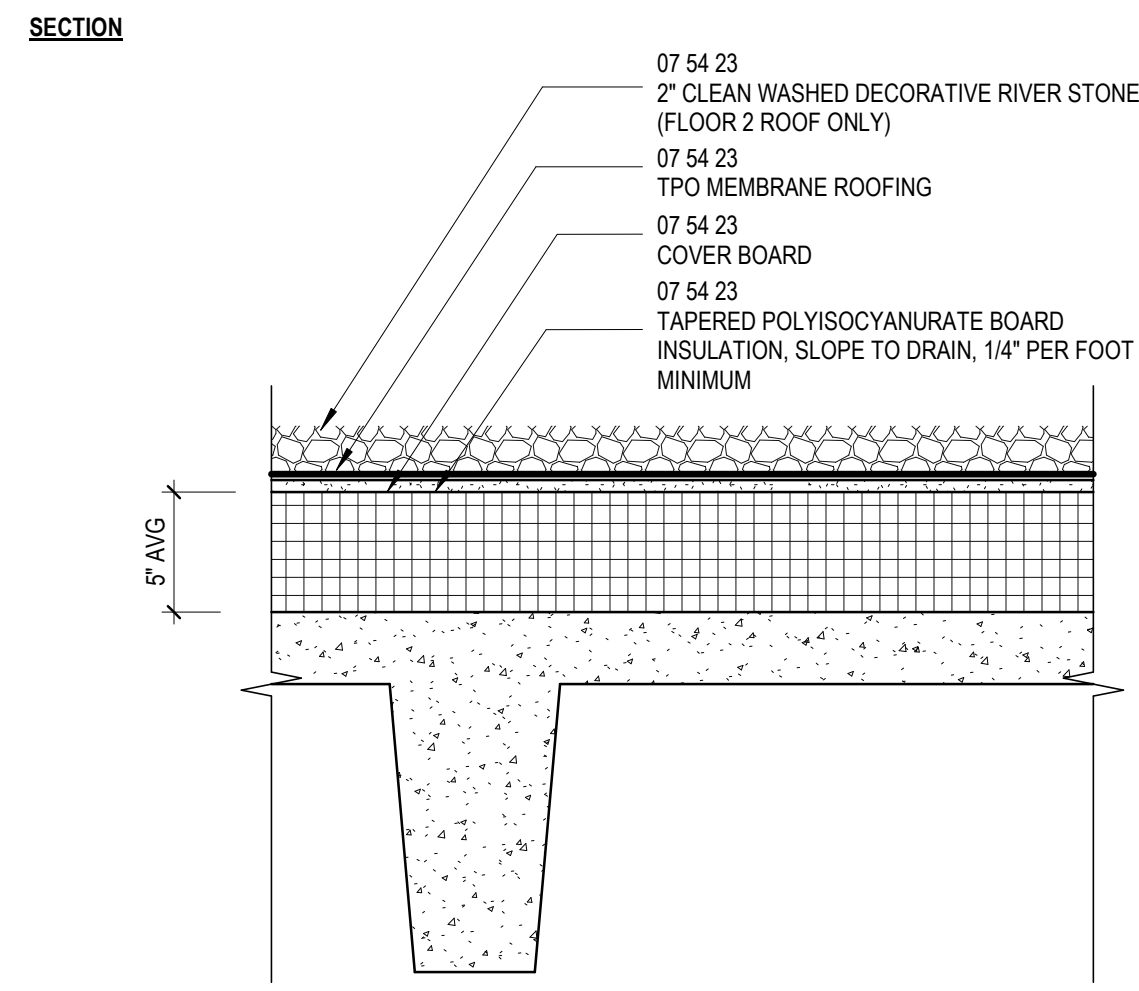
ISSUE CHART

3	ISSUE FOR BID - PROC	01/17/2025
MARK	ISSUE	DATE
Job Number	820937.001	
Drawn	Author	
Checked	Checker	
Approved	Approver	
	TITLE	

EXTERIOR ASSEMBLIES

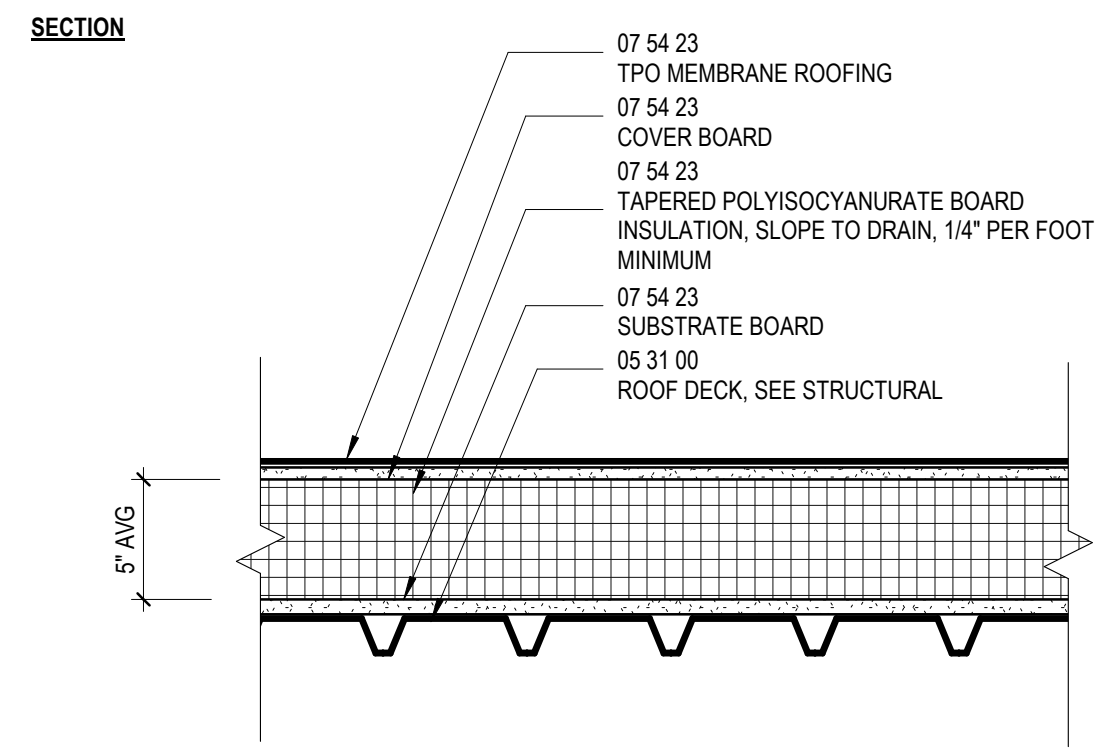
SHEET NUMBER

A00-10



RF212 ROOF ASSEMBLY
TPO ROOF MEMBRANE OVER POLYISO INSUL AND CAST-IN-PLACE CONCRETE

MARK	DESCRIPTION
RF212A	TPO ROOF MEMBRANE OVER POLYISO INSUL, CAST-IN-PLACE CONCRETE
RF212B	TPO ROOF MEMBRANE OVER POLYISO INSUL, CAST-IN-PLACE CONCRETE, AND 2\"/>
R-VALUE	
0.21	OUTSIDE AIR FILM
0.45	COVER BOARD
28.00	5\"/>
0.56	SUBSTRATE BOARD
0.34	COMPOSITE ROOF DECK
0.68	INSIDE AIR FILM
30.24	



RF211 ROOF ASSEMBLY
TPO ROOF MEMBRANE OVER POLYISO INSUL AND STEEL DECK

MARK	DESCRIPTION
RF221	TPO ROOF MEMBRANE OVER POLYISO INSUL AND STEEL DECK
R-VALUE	
0.21	OUTSIDE AIR FILM
0.45	COVER BOARD
28.00	5\"/>
0.56	SUBSTRATE BOARD
0.00	METAL DECK
0.68	INSIDE AIR FILM
29.90	

CONSULTANTS

STRUCTURAL
Lynch Mykns Structural Engineers
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702 Oberlin Road, Raleigh, NC 27605
License (NC): F-1434

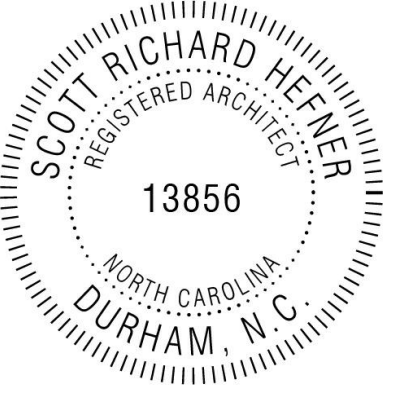
CIVIL
NV5 Engineers and Consultants
3300 Regency Parkway Suite 100, Cary, NC 27518

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6210 Ardrey Kell Road Suite 400, Charlotte, NC 28277

AUDIOVISUAL
NV5 Engineers and Consultants
4905 Professional Court, Raleigh, NC 27609

LIGHTING
Available Light
5700 Six Forks Road, Suite 203, Raleigh, NC 27609

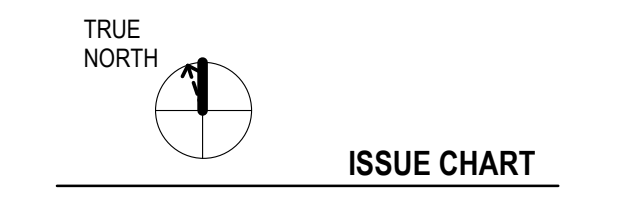
SUSTAINABILITY
Ecompad Consulting
8022 Providence Road Suite 500, Charlotte, NC 28277



Mann Hall Renovation
STATE ID #22-2450-02B
NCSU PROJECT # 202220021



North Carolina State University
Facilities Division Design & Construction
Administrative Services Building III
2901 Wolf Village Way, Suite 531
Raleigh, NC 27695



DEMOLITION GENERAL NOTES

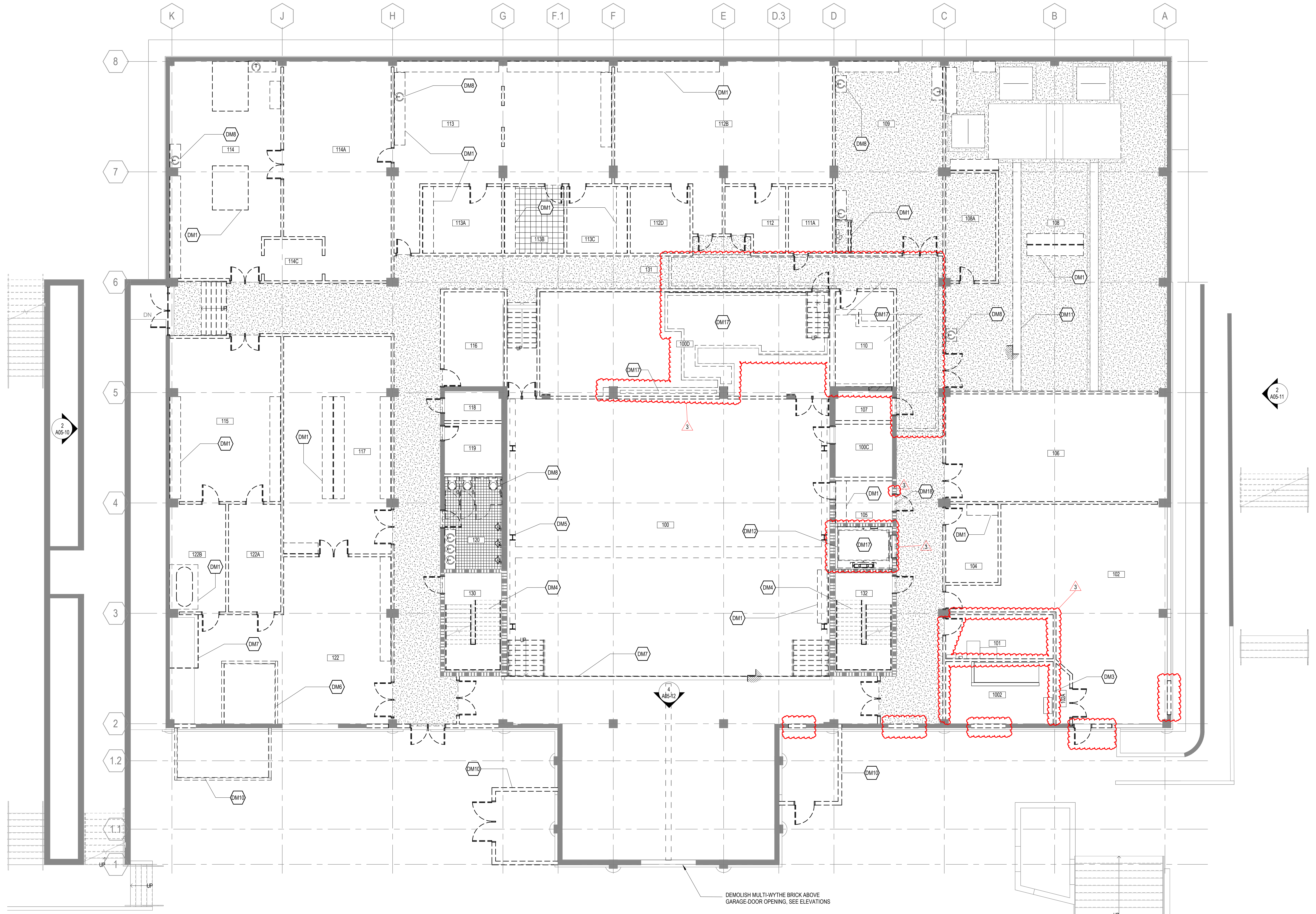
- NO SCOPE OUTSIDE OF THE BUILDING ENVELOPE HAS BEEN IDENTIFIED. WHEN SYSTEMS TO BE DEMOLISHED PENETRATE THE EXTERIOR ENVELOPE, TAKE CARE TO NOT DAMAGE ADJACENT SURFACES.
- THESE DRAWINGS HAVE BEEN DEVELOPED FROM EXISTING DRAWINGS WHICH MAY NOT REFLECT ACTUAL FIELD CONDITIONS. VERIFY THESE DRAWINGS WITH EXISTING FIELD CONDITIONS AND NOTIFY THE ARCHITECT IMMEDIATELY OF INCONSISTENCIES BETWEEN THEM AND ACTUAL CONDITIONS BEFORE PROCEEDING WITH CONSTRUCTION.
- REMOVE CONSTRUCTION AS INDICATED. TYPICAL WALL REMOVAL INCLUDES FINISHES AND MECHANICAL, PLUMBING AND ELECTRICAL SYSTEMS CONTAINED THEREIN. REMOVE DOORS, CASEWORK, WINDOWS, FRAMES, AND OTHER FIXTURES AS REQUIRED. AFTER REMOVAL OF PIPE CHASES, PATCH HOLES IN FLOORS OR WALLS TO REMAIN TO MEET ORIGINAL FIRE PROTECTION AND STRUCTURAL REQUIREMENTS. PATCH ADJOINING WALLS, FLOORS AND DECK, AND PREPARE SURFACES TO RECEIVE NEW FINISHES.
- ASSUME NO SALVAGE / RELOCATION OF MATERIALS UNLESS NOTED OTHERWISE.
- SEE MECHANICAL, PLUMBING, AND ELECTRICAL DRAWINGS FOR DEMOLITION OF UTILITIES.
- DEMOLITION WORK SHALL BE EXECUTED IN CONFORMANCE WITH ALL CODES AND AS SET FORTH BY ALL GOVERNING AUTHORITIES.
- DO NOT PERFORM ANY STRUCTURAL WORK WITHOUT PRIOR APPROVAL FROM THE STRUCTURAL ENGINEER.
- THE BUILDING ENVELOPE SHALL BE MAINTAINED IN A WATER TIGHT CONDITION AT ALL TIMES. TEMPORARY PARTITIONS / PATCHES TO BE UTILIZED AS NEEDED UNTIL FINAL CONSTRUCTION IS COMPLETED.
- SCHEDULE ALL DEMOLITION WITH THE OWNER.
- IN DEMOLITION REFLECTED CEILING PLANS, CONCRETE STRUCTURE TO REMAIN.
- FLOOR SURFACES THAT ARE NOTED TO BE REMOVED SHOULD BE FULLY DEMOLISHED FROM UNDERNEATH ALL MILLWORK AND FURNITURE, UNO.
- CONCRETE FLOOR TO REMAIN IN ALL SPACES. TYPICAL UNLESS NOTED OTHERWISE.

DEMOLITION LEGEND

- EXISTING CONSTRUCTION TO REMAIN
- EXISTING 2-HR RATED CONSTRUCTION TO REMAIN
- CONSTRUCTION TO BE REMOVED
- EPOXY FLOOR TO BE REMOVED COMPLETELY TO SUBSTRATE.
- LINOLEUM FLOOR TILES TO BE REMOVED TO SUBSTRATE.
- CERAMIC FLOOR TILES TO BE REMOVED TO SUBSTRATE.
- TERRAZZO FLOOR TO BE REMOVED TO MATCH ADJACENT SLAB ELEVATION
- CARPET TO BE REMOVED TO SUBSTRATE.

DEMOLITION NOTES BY NUMBER

- <<< Indicates Sheet Keynote on Plan
- DM1 REMOVE ALL MILLWORK. REMOVE ALL LAB EQUIPMENT. REFER TO SPECIFICATION 02 41 20.
- DM3 ELECTRICAL EQUIPMENT AND WALLS / DOORS / CEILINGS / FLOORS TO REMAIN. SEE ELEC DRAWINGS.
- DM4 HANDRAIL, GUARDRAIL, AND STAIR TREADS, EXISTING TO REMAIN.
- DM5 REMOVE OVERHEAD CRANE AND ALL ASSOCIATED STRUCTURES.
- DM6 REMOVE KNEE WALLS AND REPLACE WITH TEMPORARY PARTITION.
- DM7 REMOVE CHAIN LINK FENCE. SLAB EDGE TO REMAIN.
- DM8 REMOVE ALL PLUMBING FIXTURES. SEE PLUMBING DRAWINGS.
- DM10 SALVAGE BRICKS AND STORE FOR FUTURE REUSE.
- DM11 EXISTING TRENCH COVERS TO BE REMOVED, STORED, AND REINSTALLED AFTER MECHANICAL DEMOLITION IS COMPLETE.
- DM12 ALTERNATE 1: REMOVE ELEVATOR CAB, COUNTERWEIGHTS, RAILS, DOOR FRAMES, AND DOORS.
- DM17 REMOVE PORTION OF SLAB. SEE STRUCTURAL.
- DM18 DEMOLISH EXISTING DOOR AND PORTION OF WALL TO REPLACE WITH NEW DOOR PER DWGS.
- DM19 DEMOLISH MULTI-WYTHE BRICK ABOVE GARAGE-DOOR OPENING. SEE ELEVATIONS



1 FLOOR 01
1/8" = 1'-0"

3	ISSUE FOR BID - PROC	01/17/2025
2	ISSUE FOR BID - DEMO REV 1	10/28/2024
1	ISSUE FOR BID - DEMO	4/17/2024
WORK	ISSUE	05/27

Job Number 820937.001
Drawn Author
Checked Checker
Approved Approver

DEMOLITION PLAN - FLOOR 01

SHEET NUMBER
A04-01

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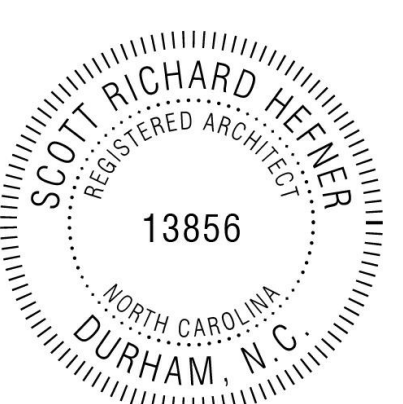
CIVIL
NV5 Engineers and Consultants
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AUDIOVISUAL
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LIGHTING
Available Light
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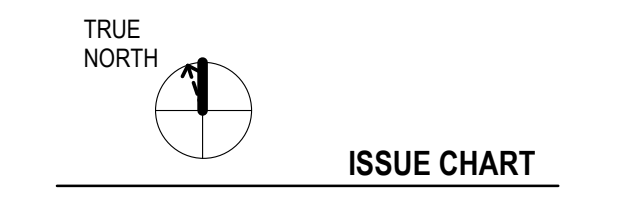
SUSTAINABILITY
Ecoimpact Consulting
8022 Providence Road Suite 500, Charlotte, NC 28277



Mann Hall Renovation
STATE ID #22-24500-02B
NC SU PROJECT # 202220021



North Carolina State University
Facilities Division Design & Construction
Administrative Services Building III
2201 Wolf Village Way, Suite 531
Raleigh, NC 27695



ISSUE CHART

3	ISSUE FOR BID - PROC	01/17/2025
2	ISSUE FOR BID - DEMO REV 1	10/28/2024
1	ISSUE FOR BID - DEMO	4/17/2024
WORK		05/24

Job Number: 820937.001
Drawn: Author
Checked: Checker
Approved: Approver

TITLE
DEMOLITION PLAN - FLOOR 02

SHEET NUMBER
A04-02

DEMOLITION GENERAL NOTES

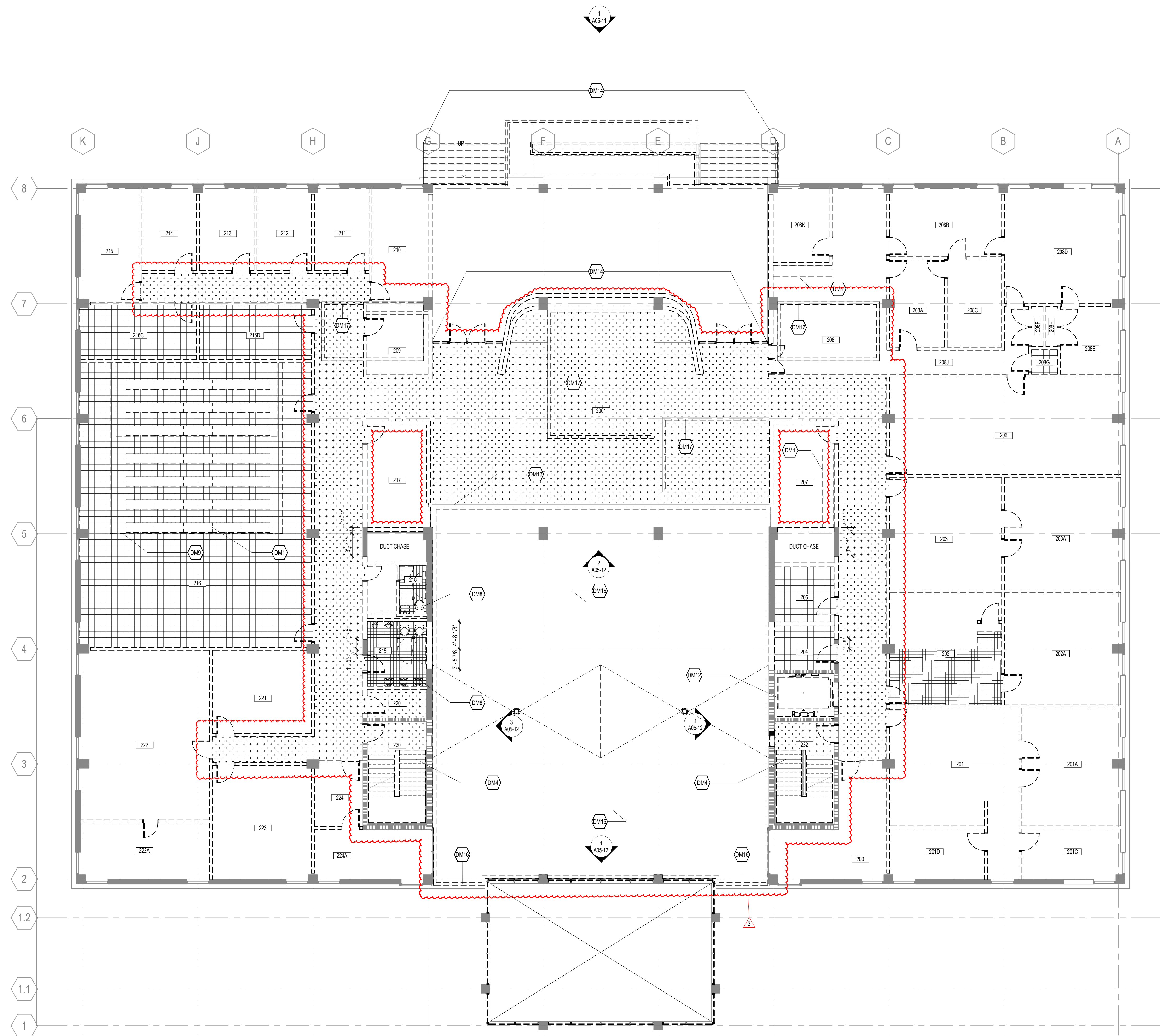
- NO SCOPE OUTSIDE OF THE BUILDING ENVELOPE HAS BEEN IDENTIFIED. WHEN SYSTEMS TO BE DEMOLISHED PENETRATE THE EXTERIOR ENVELOPE, TAKE CARE TO NOT DAMAGE ADJACENT SURFACES.
- THESE DRAWINGS HAVE BEEN DEVELOPED FROM EXISTING DRAWINGS WHICH MAY NOT REFLECT ACTUAL FIELD CONDITIONS. VERIFY THESE DRAWINGS WITH EXISTING FIELD CONDITIONS AND NOTIFY THE ARCHITECT IMMEDIATELY OF INCONSISTENCIES BETWEEN THEM AND ACTUAL CONDITIONS BEFORE PROCEEDING WITH CONSTRUCTION.
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- CONCRETE FLOOR TO REMAIN IN ALL SPACES. TYPICAL UNLESS NOTED OTHERWISE.

DEMOLITION LEGEND

- EXISTING CONSTRUCTION TO REMAIN
- EXISTING 2-HR RATED CONSTRUCTION TO REMAIN
- CONSTRUCTION TO BE REMOVED
- EPOXY FLOOR TO BE REMOVED COMPLETELY TO SUBSTRATE.
- LINOLEUM FLOOR TILES TO BE REMOVED TO SUBSTRATE.
- CERAMIC FLOOR TILES TO BE REMOVED TO SUBSTRATE.
- TERRAZZO FLOOR TO BE REMOVED TO MATCH ADJACENT SLAB ELEVATION
- CARPET TO BE REMOVED TO SUBSTRATE.

DEMOLITION NOTES BY NUMBER

- <<< Indicates Sheet Keynote on Plan
- DM1 REMOVE ALL MILLWORK. REMOVE ALL LAB EQUIPMENT. REFER TO SPECIFICATION 02.41.20.
- DM4 HANDRAIL, GUARDRAIL, AND STAIR TREADS, EXISTING TO REMAIN.
- DM8 REMOVE ALL PLUMBING FIXTURES. SEE PLUMBING DRAWINGS.
- DM9 STEPPED PLATFORMS TO BE REMOVED TO ORIGINAL FLOOR LEVEL.
- DM12 ALTERNATE 1: REMOVE ELEVATOR CAB, COUNTERWEIGHTS, RAILS, DOOR FRAMES, AND DOORS.
- DM13 TEMPORARY PARTITIONS TO REMAIN.
- DM14 ALTERNATE 2: REMOVE NORTH ENTRY DOORS, BRICK WALL, SOFFIT, RAMP, AND EXTERIOR STAIRS. PROVIDE TEMPORARY PARTITION AS NEEDED PER GENERAL NOTES.
- DM15 REMOVE EXTENT OF EXISTING ROOF INSULATION AND SUBSTRATE.
- DM16 REMOVE EXISTING COPING.
- DM17 REMOVE PORTION OF SLAB. SEE STRUCTURAL.



FLOOR 02
1/8" = 1'-0"

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STRUCTURAL
 Lynch Mykns Structural Engineers
 301 N. West Street Suite 105, Raleigh, NC 27603

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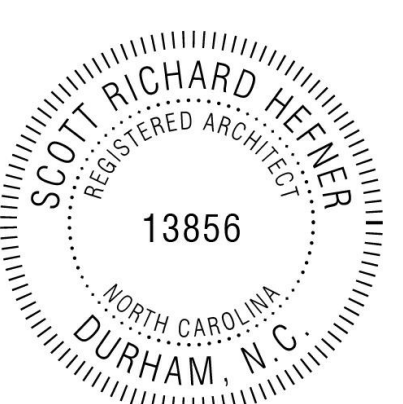
CIVIL
 NV5 Engineers and Consultants
 3300 Regency Parkway Suite 100, Cary, NC 27518

CONTRACTOR
 Holder Construction Group
 6210 Ardrey Kell Road Suite 400, Charlotte, NC 28277

AUDIOVISUAL
 NV5 Engineers and Consultants
 4905 Professional Court, Raleigh, NC 27609

LIGHTING
 Available Light
 5700 Six Forks Road, Suite 203, Raleigh, NC 27609

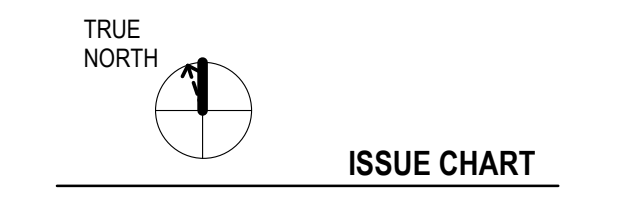
SUSTAINABILITY
 Ecoimpact Consulting
 8022 Providence Road Suite 500, Charlotte, NC 28277



Mann Hall Renovation
 STATE ID #22-2450-02B
 NCSU PROJECT # 202220021



North Carolina State University
 Facilities Division Design & Construction
 Administrative Services Building III
 201 Wolf Village Way, Suite 331
 Raleigh, NC 27695



DEMOLITION GENERAL NOTES

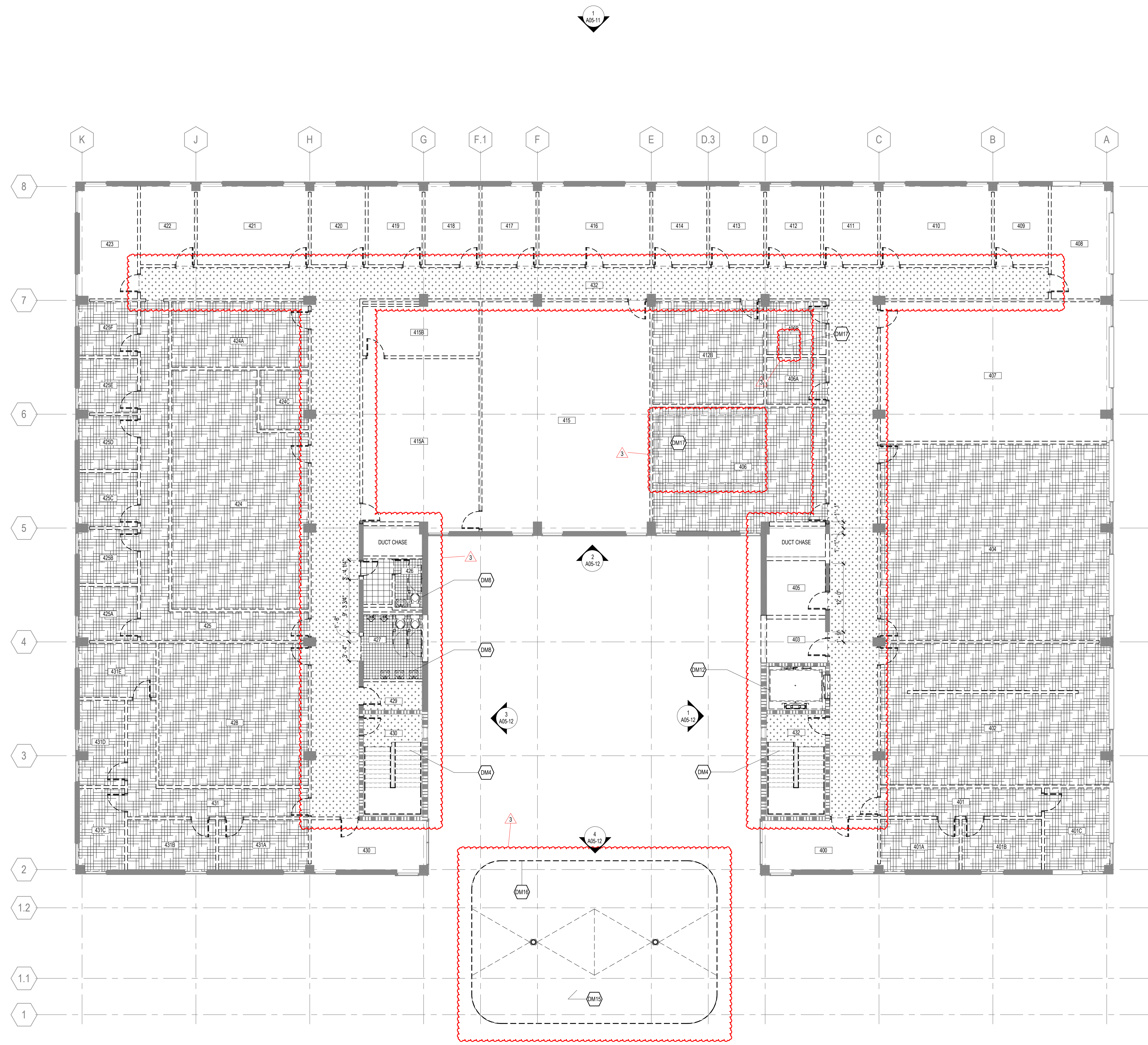
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DEMOLITION LEGEND

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- EXISTING 2-HR RATED CONSTRUCTION TO REMAIN
- CONSTRUCTION TO BE REMOVED
- EPOXY FLOOR TO BE REMOVED COMPLETELY TO SUBSTRATE.
- LINOLEUM FLOOR TILES TO BE REMOVED TO SUBSTRATE.
- CERAMIC FLOOR TILES TO BE REMOVED TO SUBSTRATE.
- TERRAZZO FLOOR TO BE REMOVED TO MATCH ADJACENT SLAB ELEVATION
- CARPET TO BE REMOVED TO SUBSTRATE.

DEMOLITION NOTES BY NUMBER

- <<< Indicates Sheet Keynote on Plan
- DM4 HANDRAIL, GUARDRAIL, AND STAIR TREADS, EXISTING TO REMAIN.
- DM6 REMOVE ALL PLUMBING FIXTURES. SEE PLUMBING DRAWINGS.
- DM12 ALTERNATE 1: REMOVE ELEVATOR CAB, COUNTERWEIGHTS, RAILS, DOOR FRAMES, AND WINDOWS.
- DM15 REMOVE EXISTING OF EXISTING ROOF INSULATION AND SUBSTRATE.
- DM16 REMOVE EXISTING COPING.
- DM17 REMOVE PORTION OF SLAB. SEE STRUCTURAL.



1 FLOOR 04
 1/8" = 1'-0"

3	ISSUE FOR BID - PROC	01/17/2025
2	ISSUE FOR BID - DEMO REV 1	10/28/2024
1	ISSUE FOR BID - DEMO	4/17/2024
0	DATE	DATE
Job Number	820937.001	
Drawn	Author	
Checked	Checker	
Approved	Approver	
TITLE		

DEMOLITION PLAN - FLOOR 04

SHEET NUMBER

A04-04

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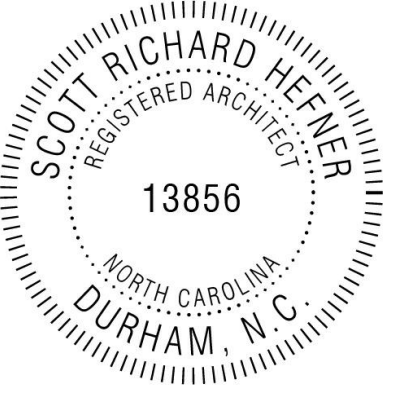
CIVIL
 NVS Engineers and Consultants
 3300 Regency Parkway Suite 100, Cary, NC 27518

CONTRACTOR
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 6210 Ardrey Kell Road Suite 400, Charlotte, NC 28277

AUDIOVISUAL
 NVS Engineers and Consultants
 4905 Professional Court, Raleigh, NC 27609

LIGHTING
 Available Light
 5700 Six Forks Road, Suite 203, Raleigh, NC 27609

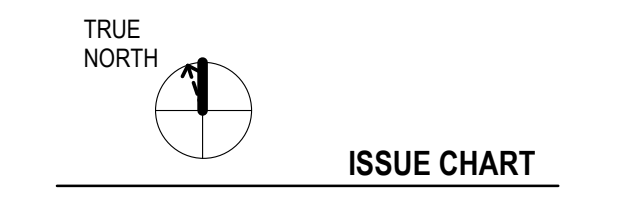
SUSTAINABILITY
 Ecoimpact Consulting
 8022 Providence Road Suite 500, Charlotte, NC 28277



Mann Hall Renovation
 STATE ID #22-2450-02B
 NCSU PROJECT # 202220021



North Carolina State University
 Facilities Division Design & Construction
 Administrative Services Building III
 201 Wolf Village Way, Suite 531
 Raleigh, NC 27695



3	ISSUE FOR BID - PROC	01/17/2025
2	ISSUE FOR BID - DEMO REV 1	10/28/2024
1	ISSUE FOR BID - DEMO	4/17/2024
WORK	ISSUE	DATE
Job Number	820937.001	
Drawn	Author	
Checked	Checker	
Approved	Approver	
TITLE		
DEMOLITION PLAN - ROOF		
SHEET NUMBER		
A04-05		

DEMOLITION GENERAL NOTES

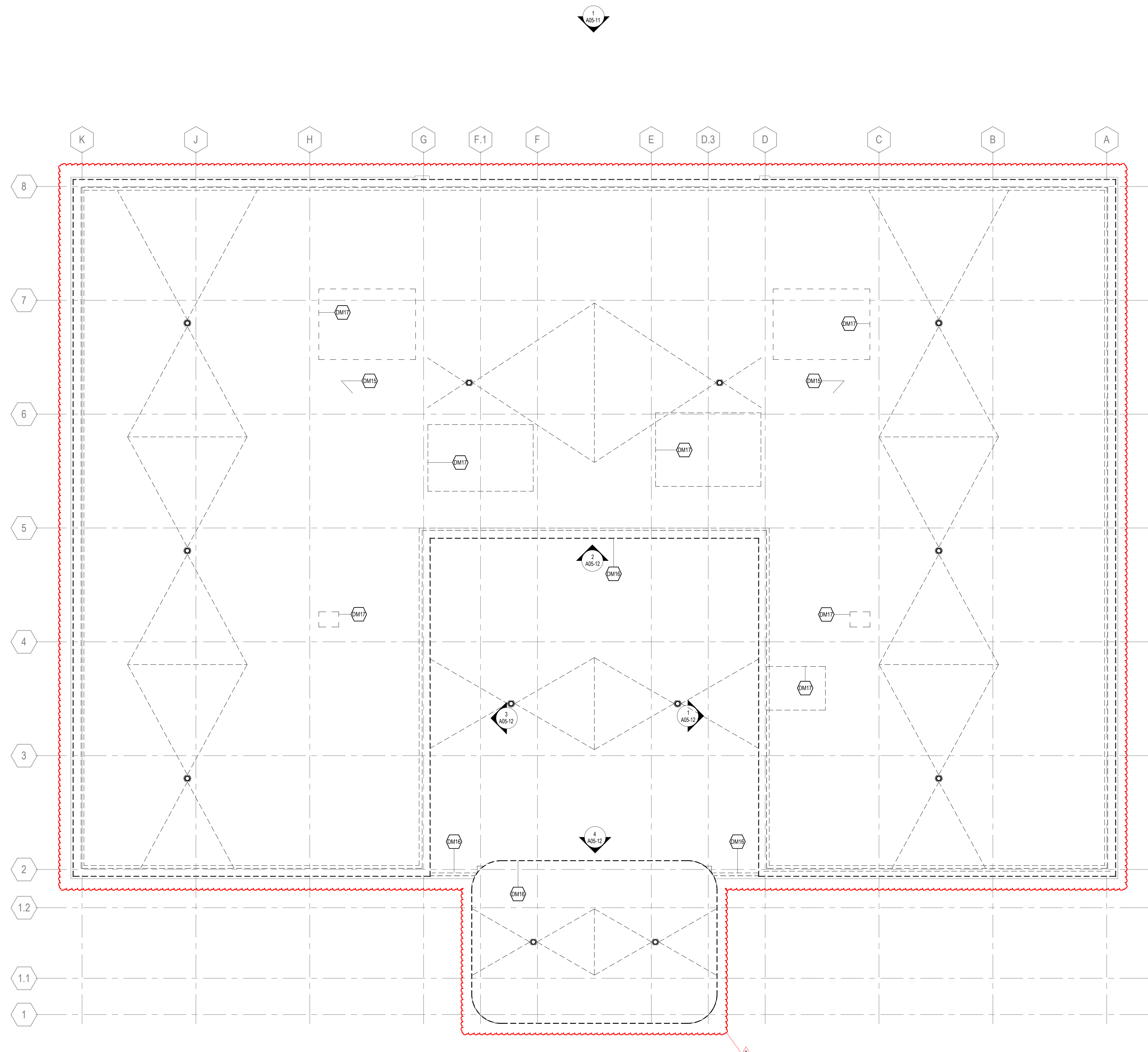
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- ASSUME NO SALVAGE / RELOCATION OF MATERIALS UNLESS NOTED OTHERWISE.
- SEE MECHANICAL, PLUMBING, AND ELECTRICAL DRAWINGS FOR DEMOLITION OF UTILITIES.
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- SCHEDULE ALL DEMOLITION WITH THE OWNER.
- IN DEMOLITION REFLECTED CEILING PLANS, CONCRETE STRUCTURE TO REMAIN.
- FLOOR SURFACES THAT ARE NOTED TO BE REMOVED SHOULD BE FULLY DEMOLISHED FROM UNDERNEATH ALL MILLWORK AND FURNITURE, UNO.
- CONCRETE FLOOR TO REMAIN IN ALL SPACES. TYPICAL UNLESS NOTED OTHERWISE.

DEMOLITION LEGEND

- EXISTING CONSTRUCTION TO REMAIN
- EXISTING 2-HR RATED CONSTRUCTION TO REMAIN
- CONSTRUCTION TO BE REMOVED
- EPOXY FLOOR TO BE REMOVED COMPLETELY TO SUBSTRATE.
- LINOLEUM FLOOR TILES TO BE REMOVED TO SUBSTRATE.
- CERAMIC FLOOR TILES TO BE REMOVED TO SUBSTRATE.
- TERRAZZO FLOOR TO BE REMOVED TO MATCH ADJACENT SLAB ELEVATION
- CARPET TO BE REMOVED TO SUBSTRATE.

DEMOLITION NOTES BY NUMBER

- Indicates Sheet Keynote on Plan
- DM15 REMOVE EXTENT OF EXISTING ROOF INSULATION AND SUBSTRATE.
- DM16 REMOVE EXISTING COPING.
- DM17 REMOVE PORTION OF SLAB. SEE STRUCTURAL.



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Available Light
5700 Six Forks Road, Suite 203, Raleigh, NC 27609

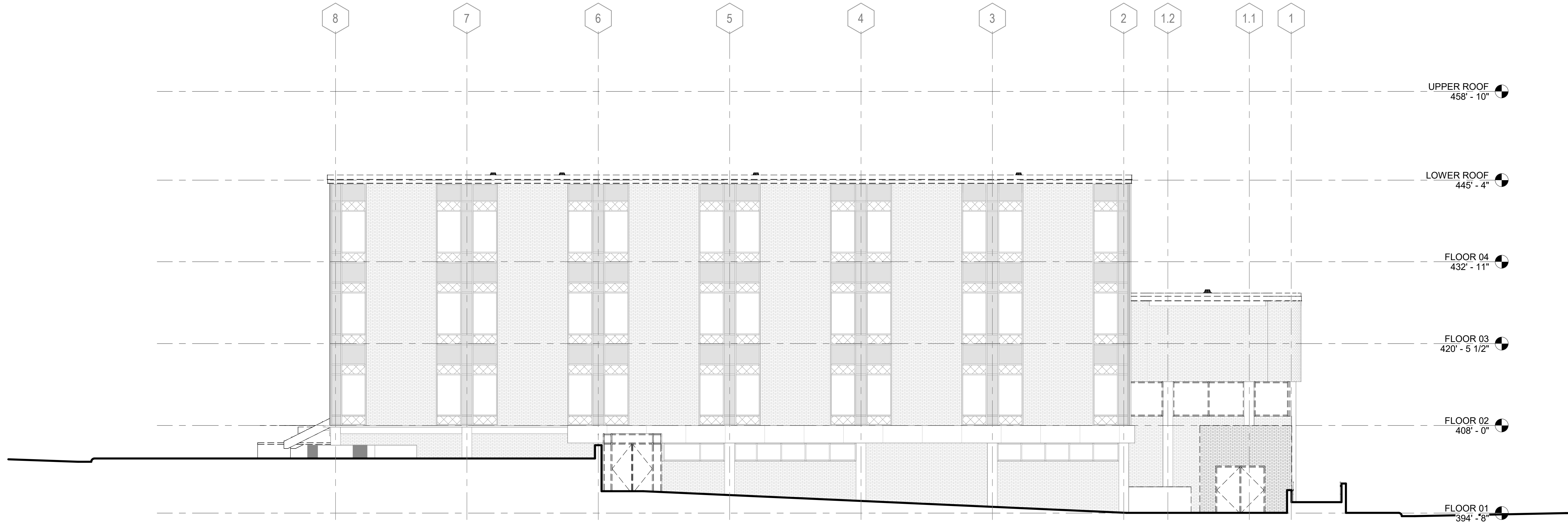
SUSTAINABILITY
Ecoimpact Consulting
8022 Providence Road Suite 500, Charlotte, NC 28277

**EXTERIOR ELEVATION
GENERAL NOTES**

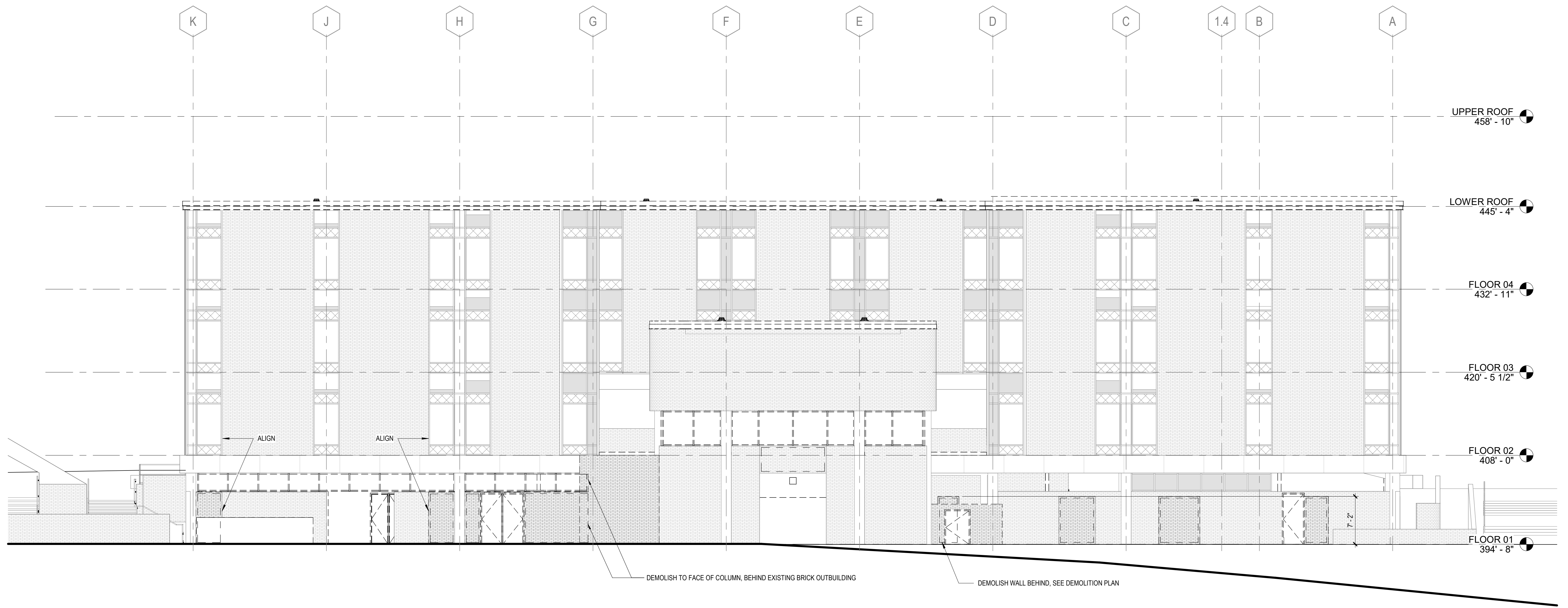
1. MATERIAL SYMBOLS ON ELEVATIONS ARE TO DISPLAY THE EXTENT OF THE MATERIAL ONLY. THEY ARE NOT TO SCALE.

**EXTERIOR ELEVATION
LEGEND**

- EXTERIOR GLAZING SYSTEM TAG REFER TO A33 SERIES FOR SCHEDULE
- TEMPERED GLAZING
- BUILDING EXPANSION JOINT
- MASONRY EXPANSION JOINT: MATCH MORTAR COLOR
- CONSTRUCTION TO BE REMOVED



② WEST ELEVATION Copy 1
1/8" = 1'-0"



① SOUTH ELEVATION Copy 1
1/8" = 1'-0"

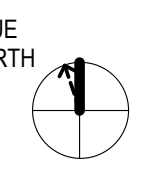
Mann Hall Renovation

STATE ID #22-2450-02B
NCSU PROJECT # 202220021



North Carolina State University

Facilities Division Design & Construction
Administrative Services Building III
201 Wolf Village Way, Suite 511
Raleigh, NC 27695



ISSUE CHART

3	ISSUE FOR BID - PROC	01/17/2025
2	ISSUE FOR BID - DEMO REV 1	10/28/2024
1	ISSUE FOR BID - DEMO	4/17/2024
MARK	ISSUE	DATE
Job Number	820937.001	
Drawn	Author	
Checked	Checker	
Approved	Approver	
TITLE		

**DEMOLITION
EXTERIOR
ELEVATIONS**

SHEET NUMBER

A05-10

CONSULTANTS

STRUCTURAL
Lynch Mykns Structural Engineers
301 N. West Street Suite 105, Raleigh, NC 27603

MEP
Salas O'Brien
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NVS Engineers and Consultants
3300 Regency Parkway Suite 100, Cary, NC 27518

CONTRACTOR
Holder Construction Group
6210 Ardrey Kell Road Suite 400, Charlotte, NC 28277

AUDIOVISUAL
NVS Engineers and Consultants
4905 Professional Court, Raleigh, NC 27609

LIGHTING
Available Light
5700 Six Forks Road, Suite 203, Raleigh, NC 27609

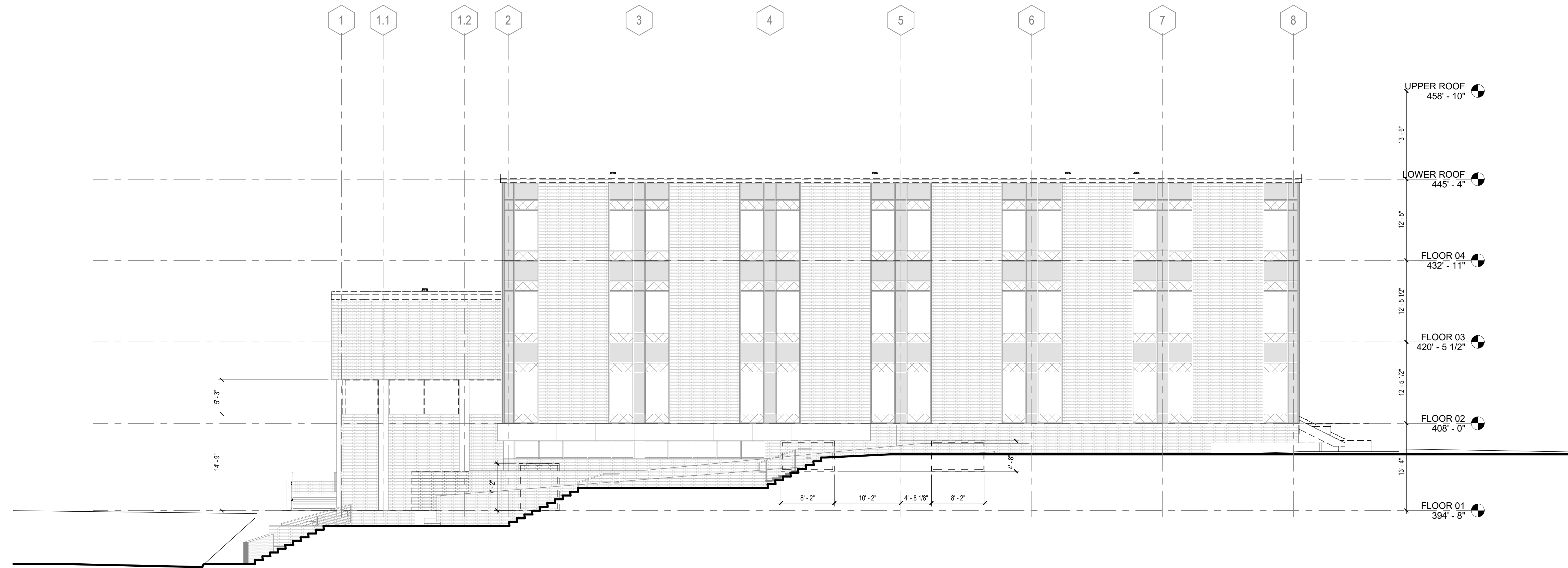
SUSTAINABILITY
Ecoimpact Consulting
8022 Providence Road Suite 500, Charlotte, NC 28277

**EXTERIOR ELEVATION
GENERAL NOTES**

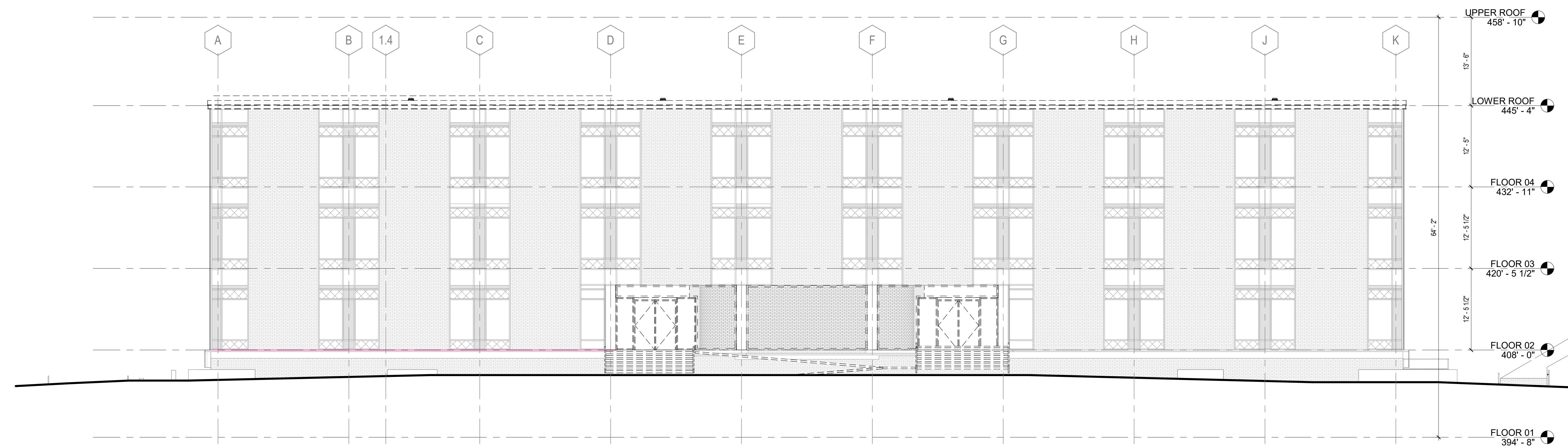
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**EXTERIOR ELEVATION
LEGEND**

- EXTERIOR GLAZING SYSTEM TAG REFER TO A33 SERIES FOR SCHEDULE
- TEMPERED GLAZING
- BUILDING EXPANSION JOINT
- MASONRY EXPANSION JOINT: MATCH MORTAR COLOR
- CONSTRUCTION TO BE REMOVED



2 EAST ELEVATION Copy 1
1/8" = 1'-0"



1 NORTH ELEVATION Copy 1
1/8" = 1'-0"

Mann Hall Renovation

STATE ID #22-2450-02B
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North Carolina State University

Facilities Division Design & Construction
Administrative Services Building III
2901 Wolf Village Way, Suite 511
Raleigh, NC 27695



ISSUE CHART

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Checked	Checker	
Approved	Approver	

TITLE
**DEMOLITION
EXTERIOR
ELEVATIONS**

SHEET NUMBER

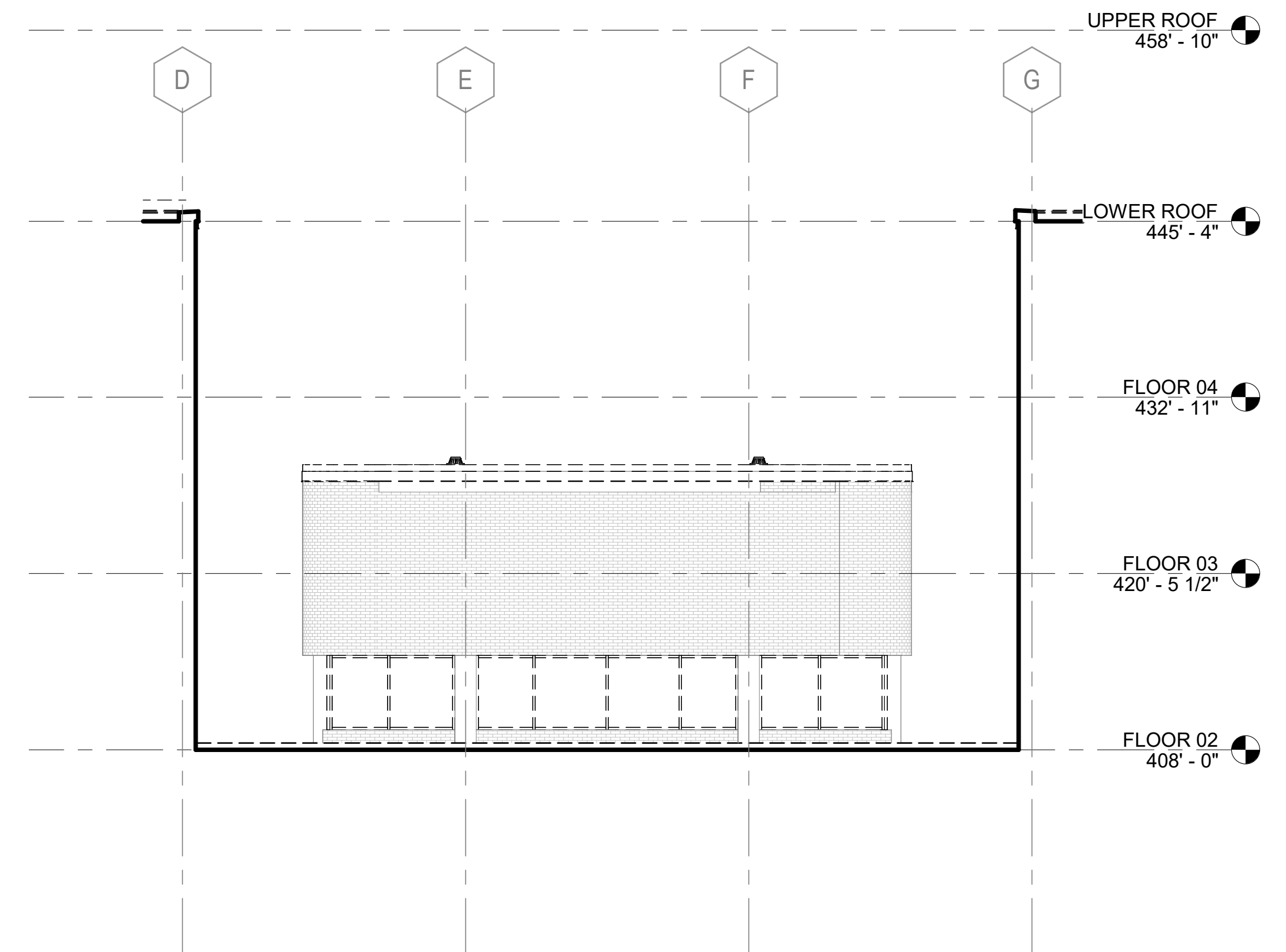
A05-11

**EXTERIOR ELEVATION
GENERAL NOTES**

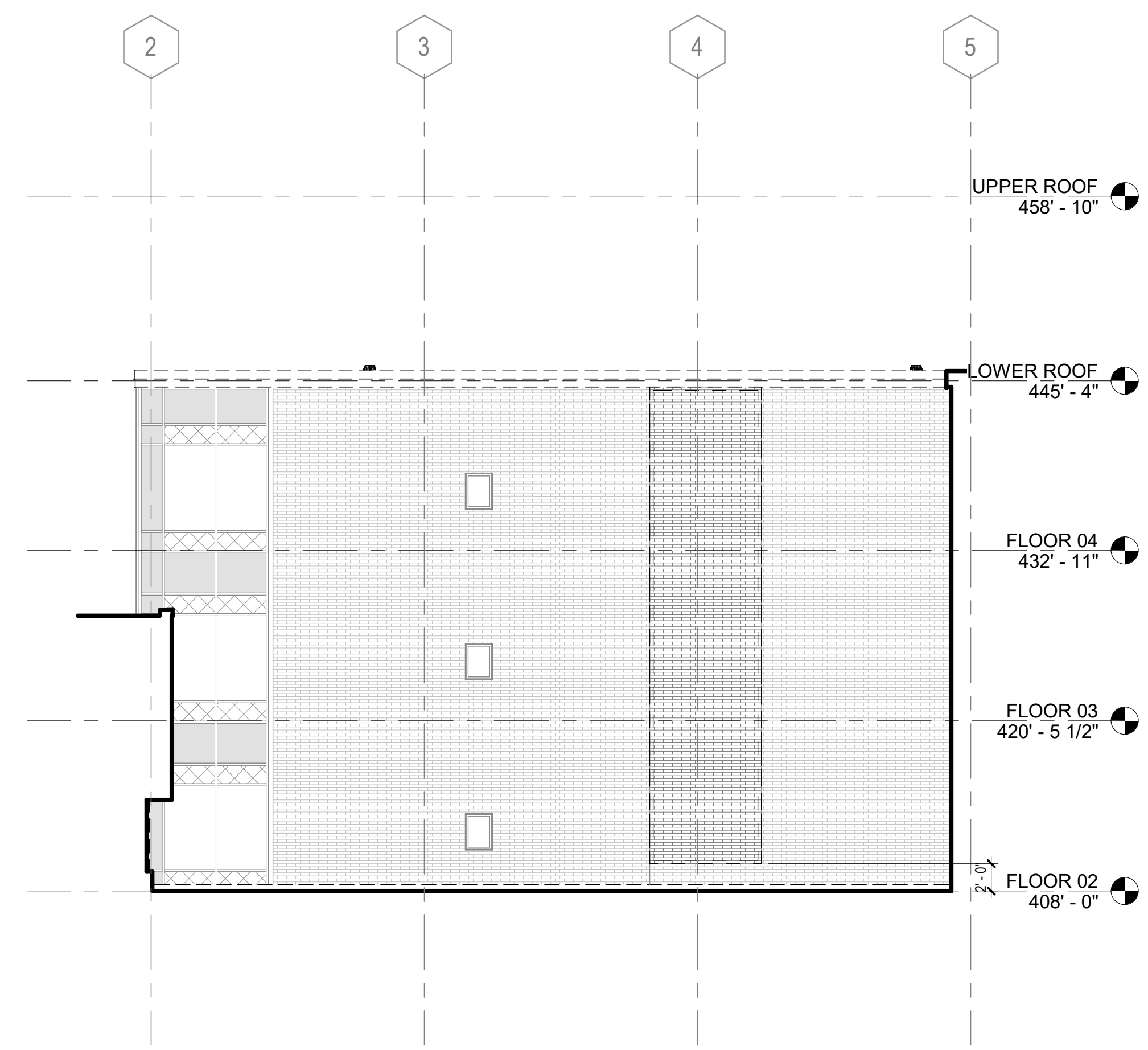
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**EXTERIOR ELEVATION
LEGEND**

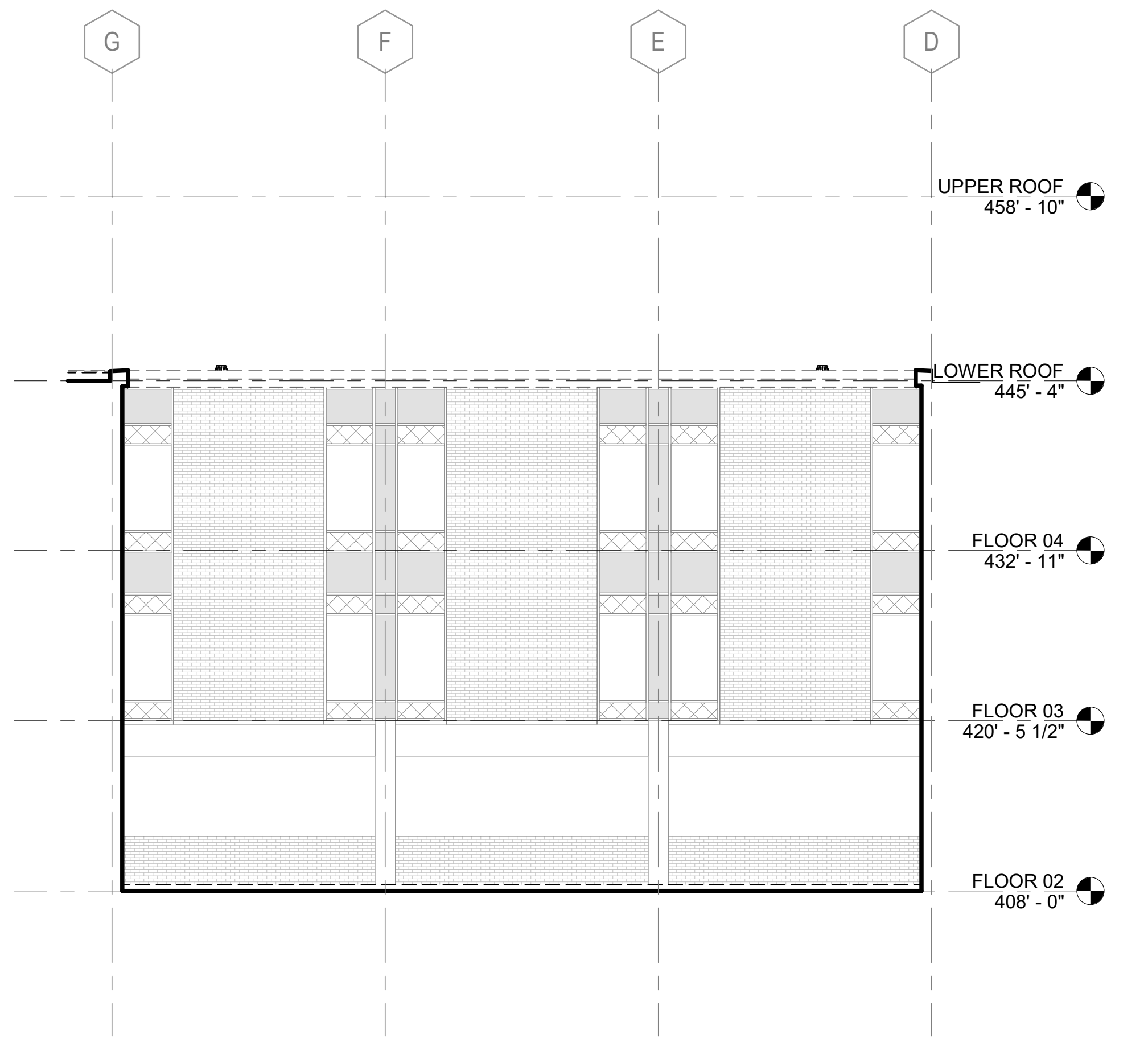
- EXTERIOR GLAZING SYSTEM TAG REFER TO A33 SERIES FOR SCHEDULE
- TEMPERED GLAZING
- BUILDING EXPANSION JOINT
- MASONRY EXPANSION JOINT- MATCH MORTAR COLOR
- CONSTRUCTION TO BE REMOVED



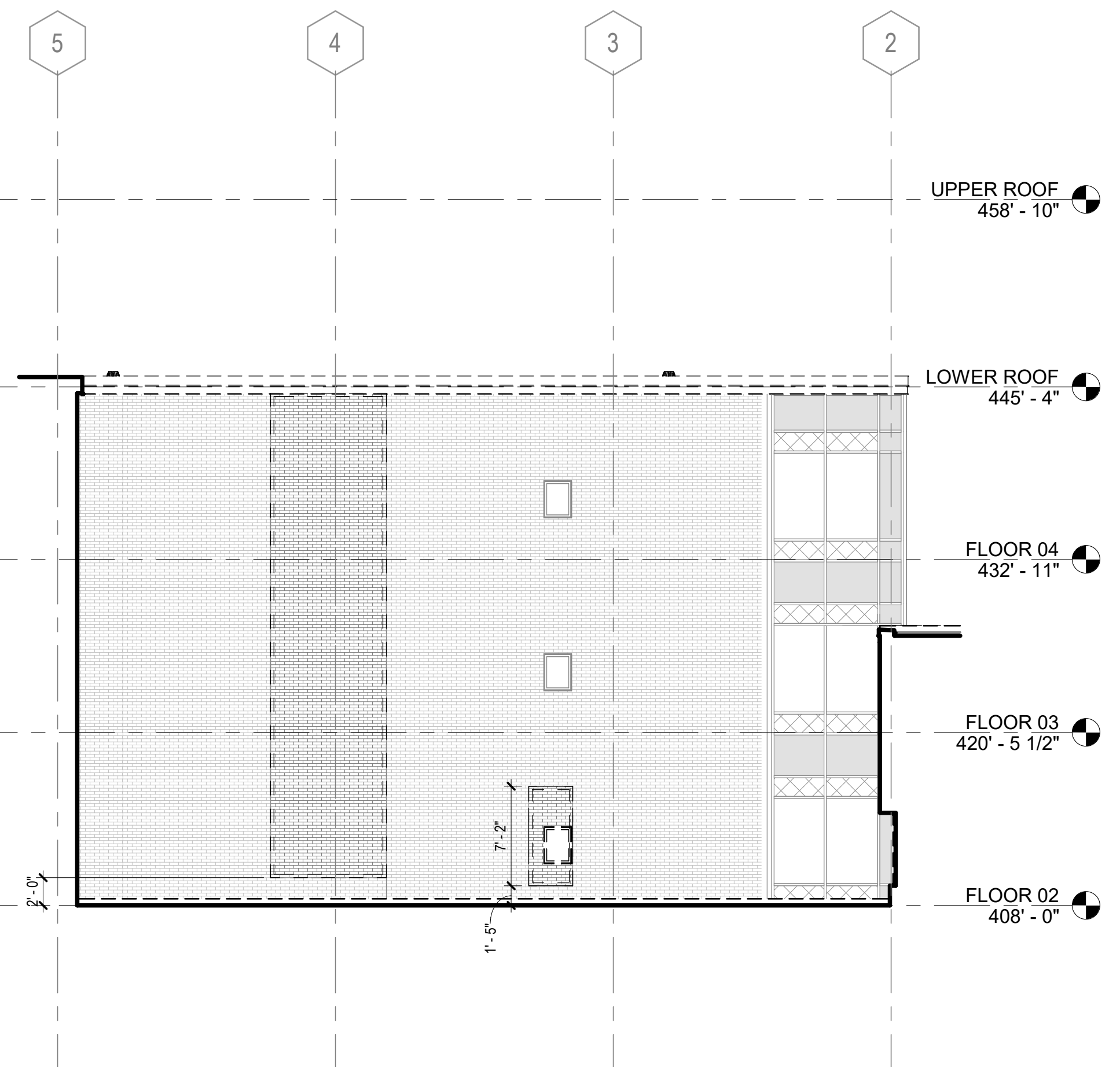
4 COURTYARD SOUTH DEMOLITION
1/8" = 1'-0"



3 COURTYARD WEST DEMOLITION
1/8" = 1'-0"



2 COURTYARD NORTH DEMOLITION
1/8" = 1'-0"

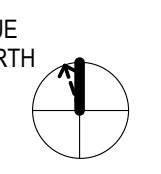


1 COURTYARD EAST DEMOLITION
1/8" = 1'-0"

Mann Hall Renovation
STATE ID #22-2450-02B
NCSU PROJECT # 202220021



North Carolina State University
Facilities Division Design & Construction
Administrative Services Building III
2901 Wolf Village Way, Suite S1
Raleigh, NC 27695



ISSUE CHART

3	ISSUE FOR BID - PROC	01/17/2025
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1	ISSUE FOR BID - DEMO	4/12/2024
MARK	ISSUE	DATE

Job Number 820937.001
Drawn Author
Checked Checker
Approved Approver

**DEMOLITION
EXTERIOR
ELEVATIONS**

SHEET NUMBER

A05-12

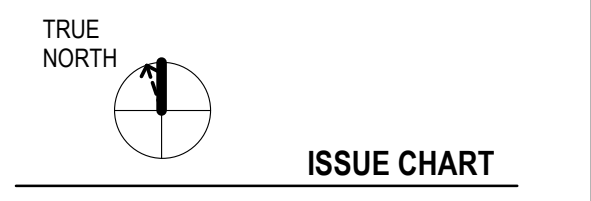
**ROOF PLAN
GENERAL NOTES**

- REFER TO STRUCTURAL, MECHANICAL, PLUMBING, AND ELECTRICAL FOR LOCATIONS OF OTHER ITEMS ON THE ROOF SURFACE.
- PAINT EXPOSED ROOF MOUNTED EQUIPMENT, PIPING, ETC., EXCEPT THOSE ITEMS WHICH ARE PREFINISHED OR STAINLESS STEEL. COLOR AS SELECTED BY ARCHITECT.
- REFER TO PLUMBING DRAWINGS FOR ROOF DRAIN SIZES.

ROOF PLAN LEGEND

- SCUPPER
- DOWN SPOUT
- ROOF WALK PADS.
- SLOPE TO DRAIN 1/4" PER FOOT
- ROOF DRAIN SLUMP
SLOPE TO DRAIN 1/2" PER FOOT
- RIDGE
HIGH POINT AT TOP OF INSULATION
- VALLEY
LOW POINT AT TOP OF INSULATION
- PARAPET
TOP OF PARAPET
- AREA WITH SLOPED STRUCTURE
- AREA WITH TAPERED INSULATION

**ROOF PLAN
NOTES BY NUMBER**

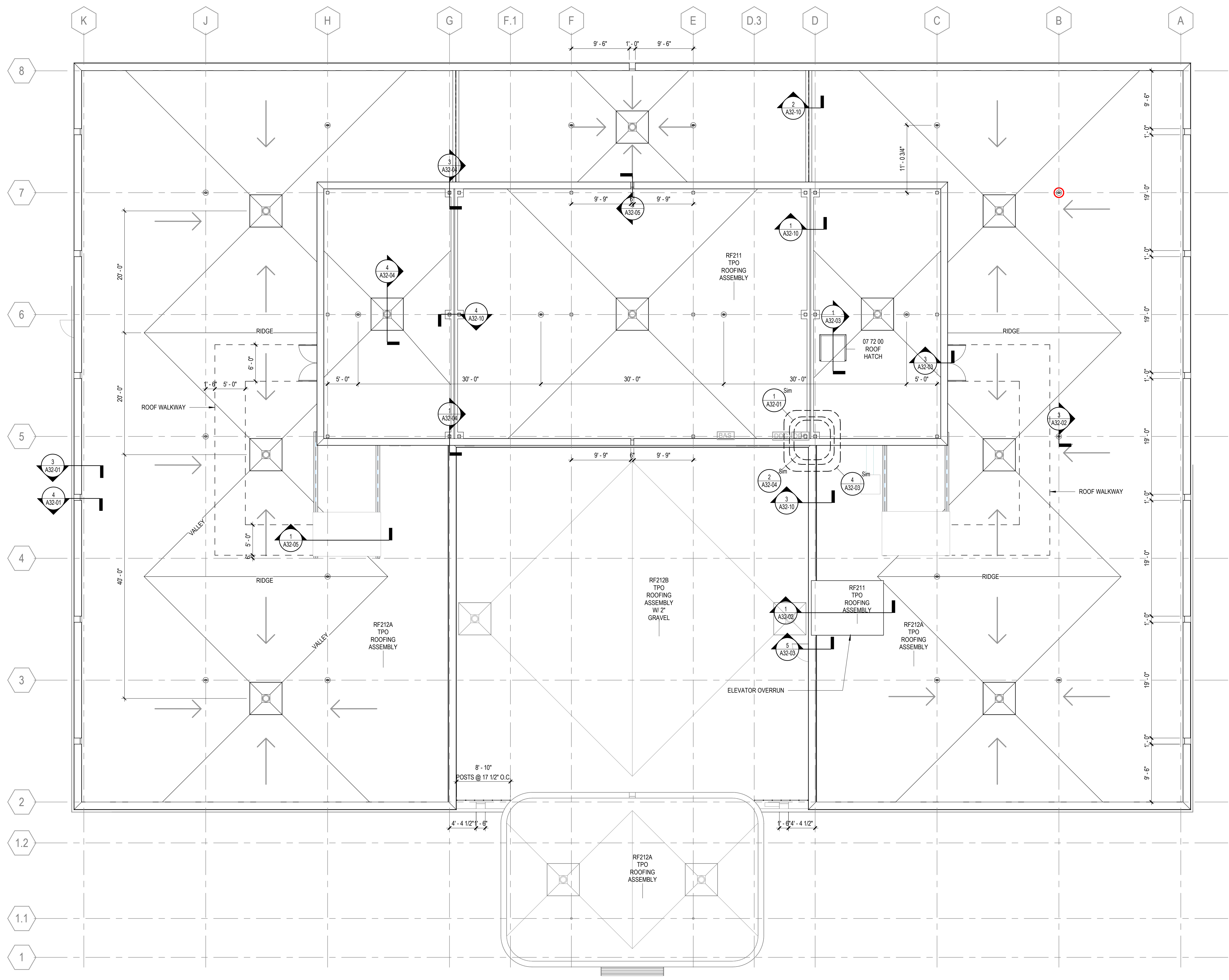


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1	ISSUE FOR BID - DEMO	4/17/2024
WORK SHEET		DATE
Job Number	820937.001	
Drawn	Author	
Checked	Checker	
Approved	Approver	
TITLE		

FLOOR PLAN - ROOF

SHEET NUMBER

A11-06



1 FLOOR PLAN - ROOF
1/8" = 1'-0"

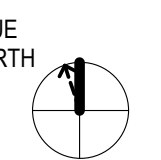
Mann Hall Renovation

STATE ID #22-2450-02B
NC SU PROJECT # 202220021



North Carolina State University

Facilities Division Design & Construction
Administrative Services Building III
2001 Wolf Village Way, Suite 531
Raleigh, NC 27695



ISSUE CHART

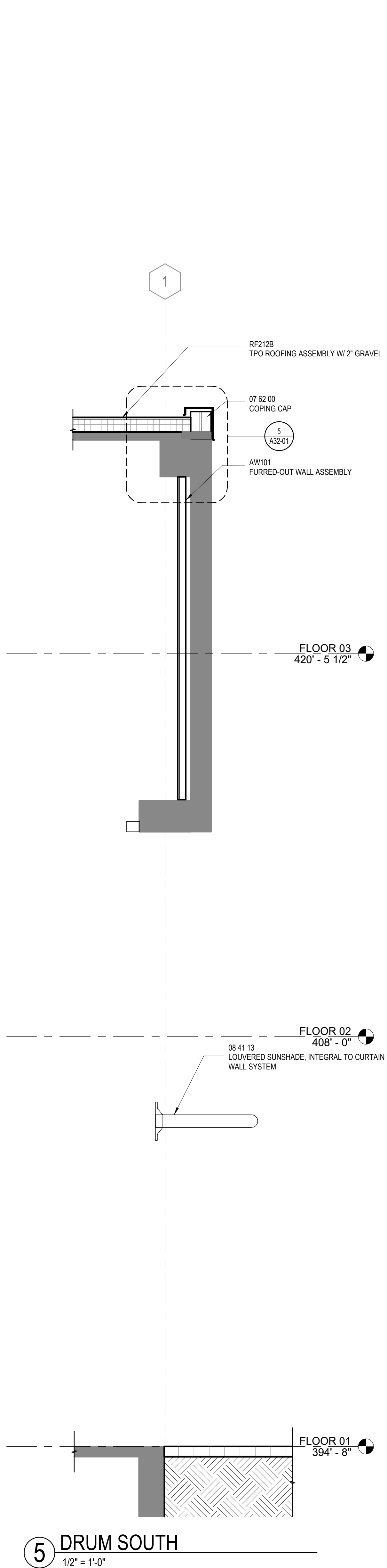
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1	ISSUE FOR BID - DEMO	4/17/2024
MARK	ISSUE	DATE

Job Number 820937.001
Drawn Author
Checked Checker
Approved Approver
TITLE

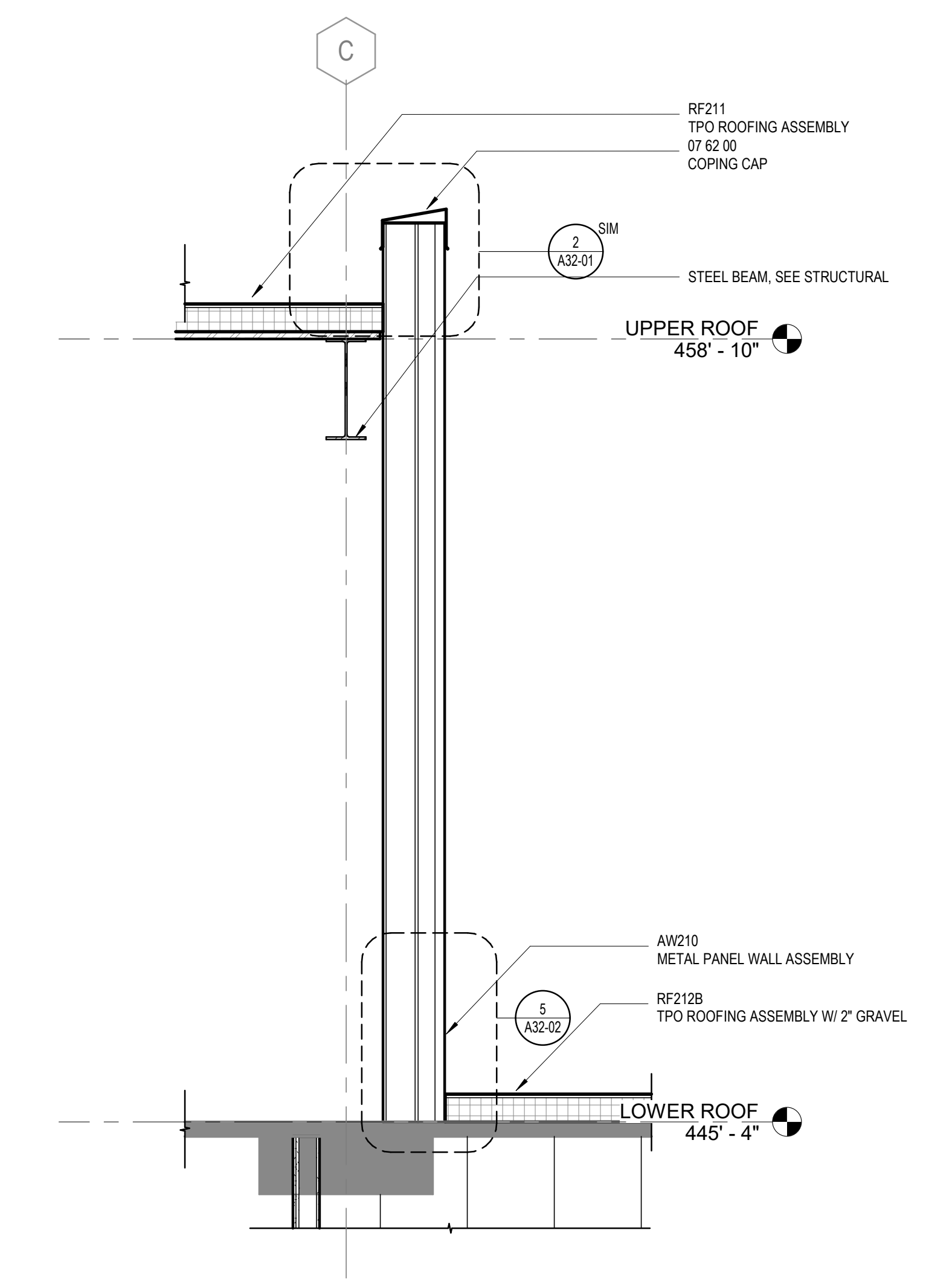
WALL SECTIONS

SHEET NUMBER

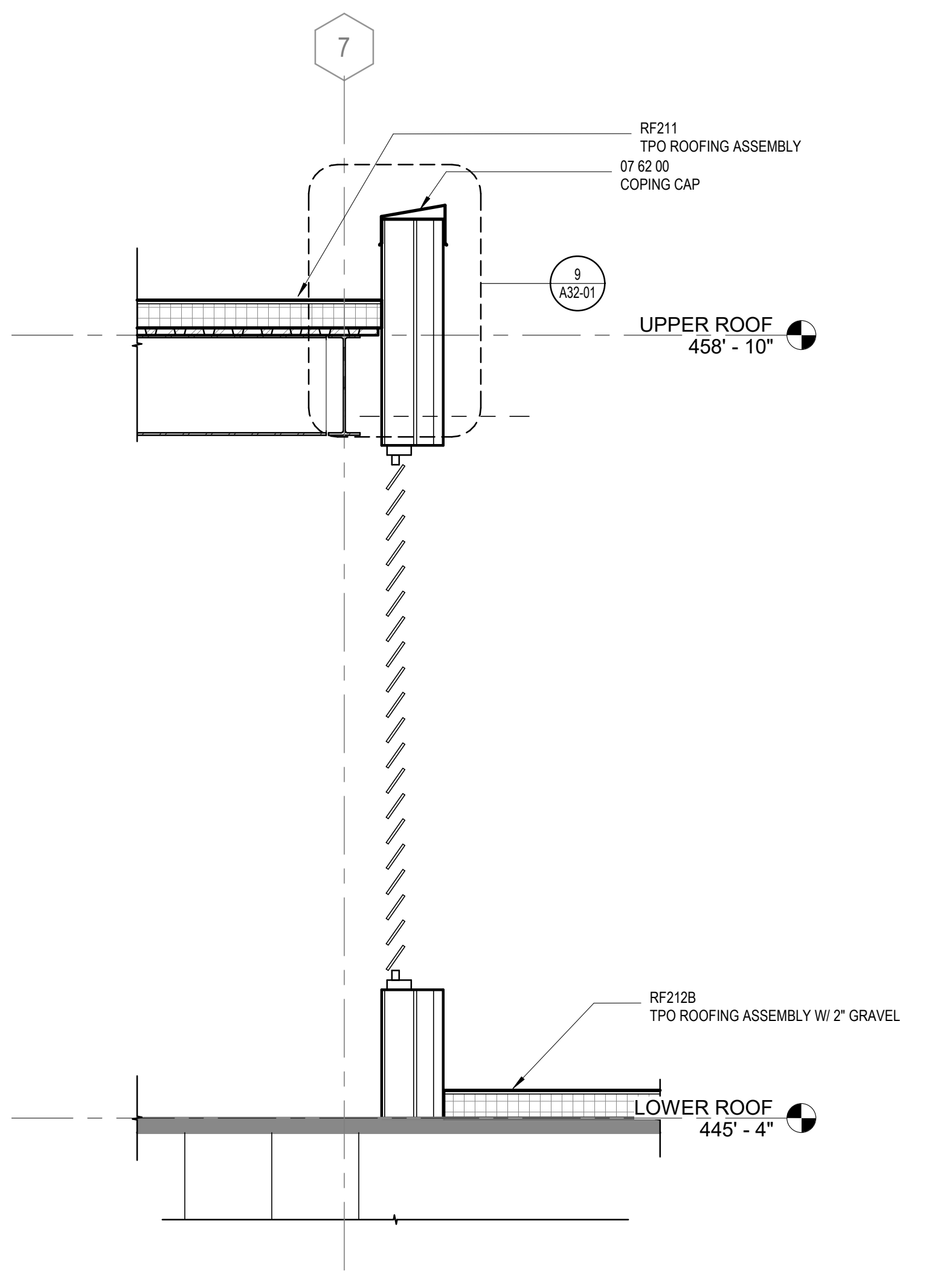
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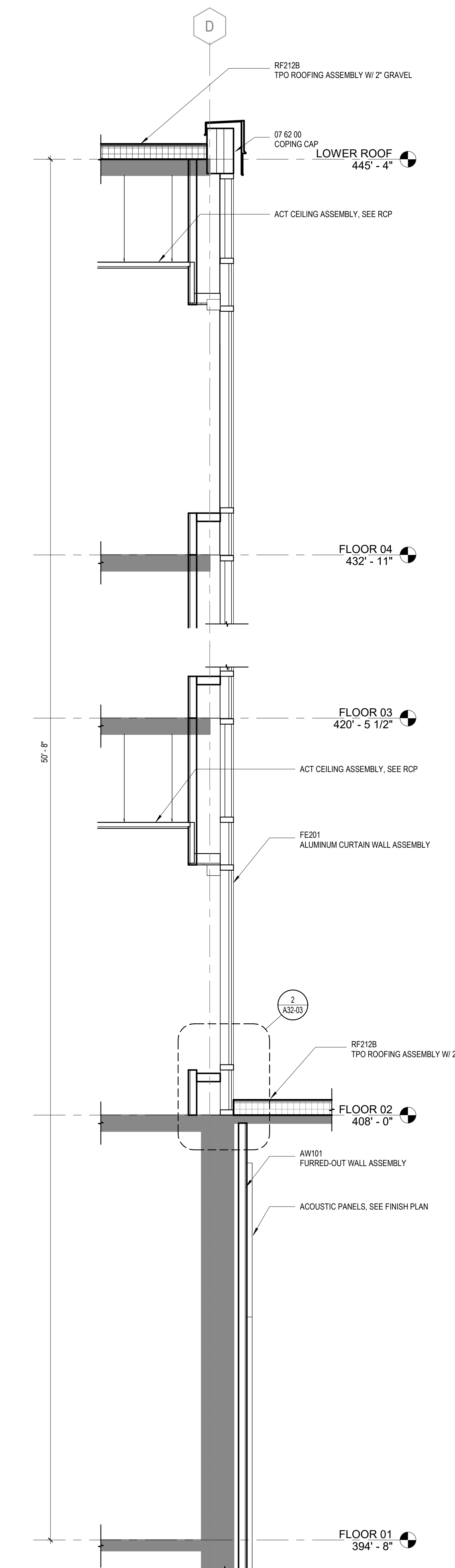
5 DRUM SOUTH
1/2" = 1'-0"



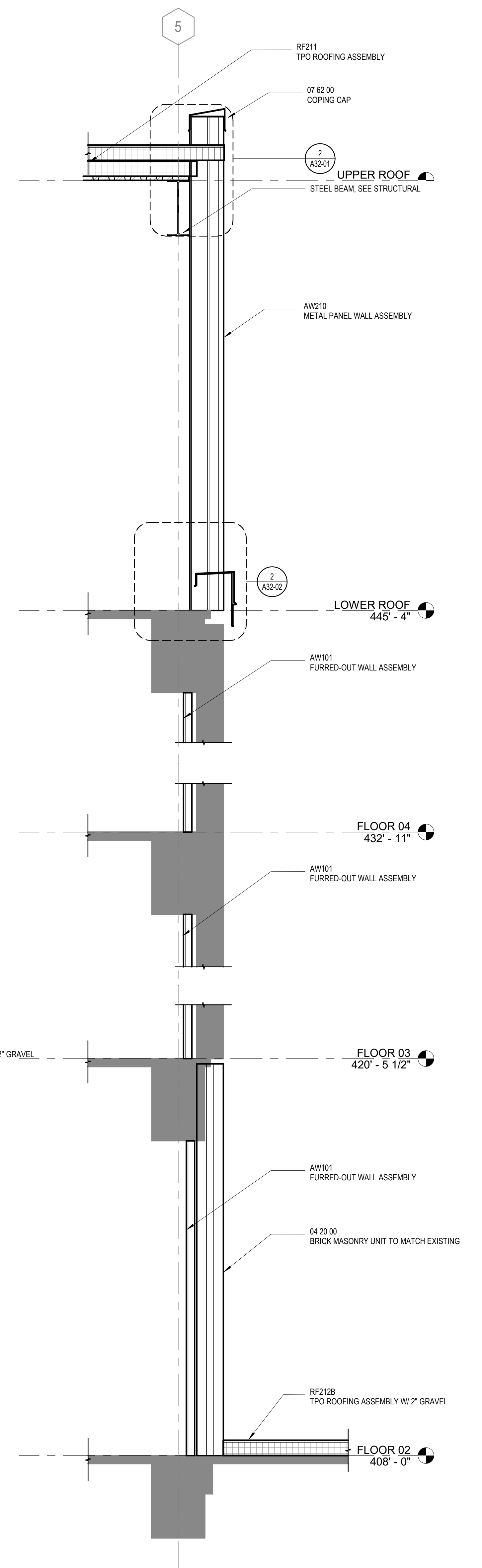
4 PENTHOUSE - EAST
1/2" = 1'-0"



3 PENTHOUSE - NORTH
1/2" = 1'-0"



2 LIGHT COURT - EAST
1/2" = 1'-0"



1 LIGHT COURT - SOUTH
1/2" = 1'-0"

CONSULTANTS

STRUCTURAL
Lynch Mykns Structural Engineers
301 N. West Street Suite 105, Raleigh, NC 27603

MEP
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702 Oberlin Road, Raleigh, NC 27605
License (NC): F-1634
civil

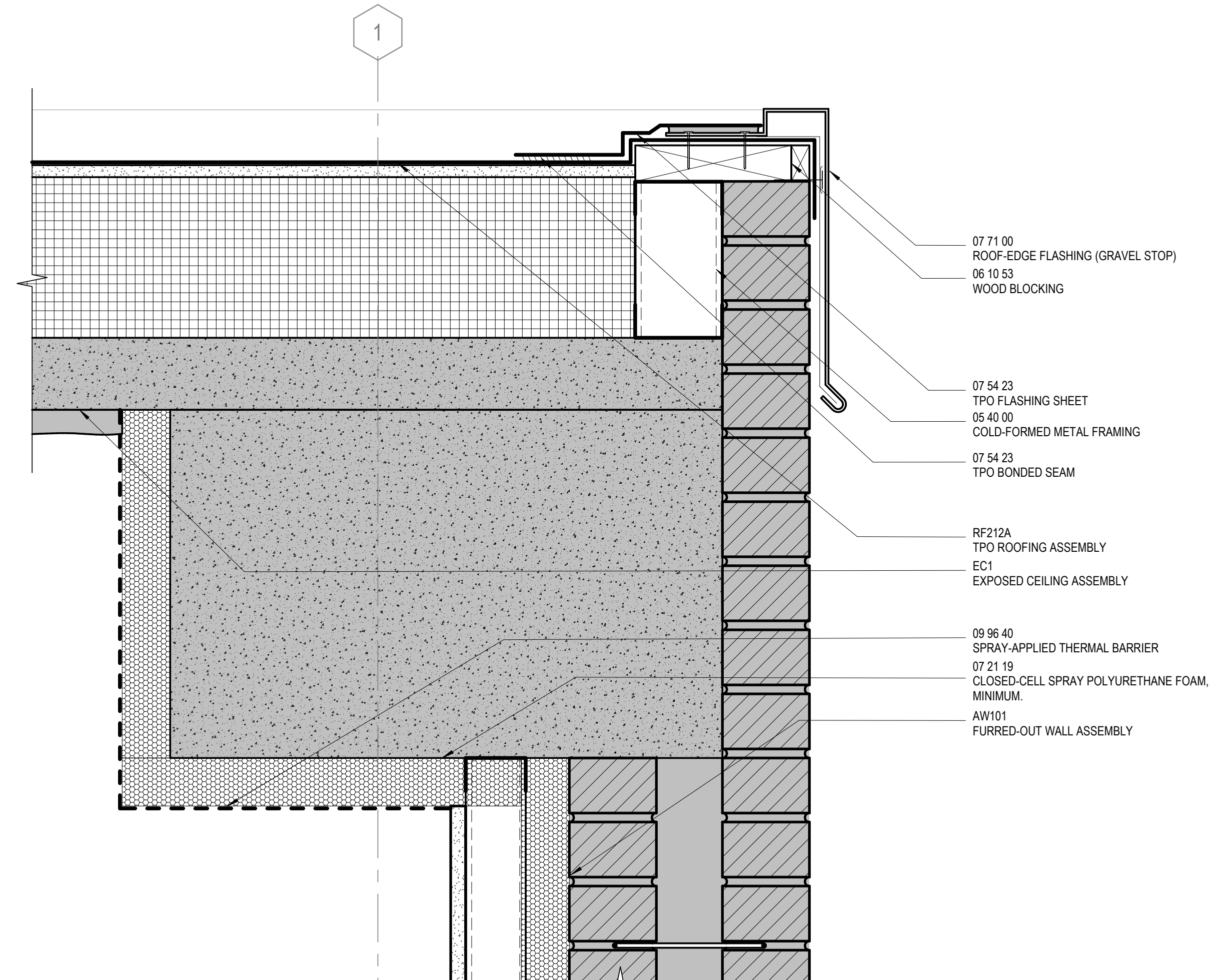
NVS Engineers and Consultants
3300 Regency Parkway Suite 100, Cary, NC 27518

CONTRACTOR
Holder Construction Group
6210 Ardrey Kell Road Suite 400, Charlotte, NC 28277

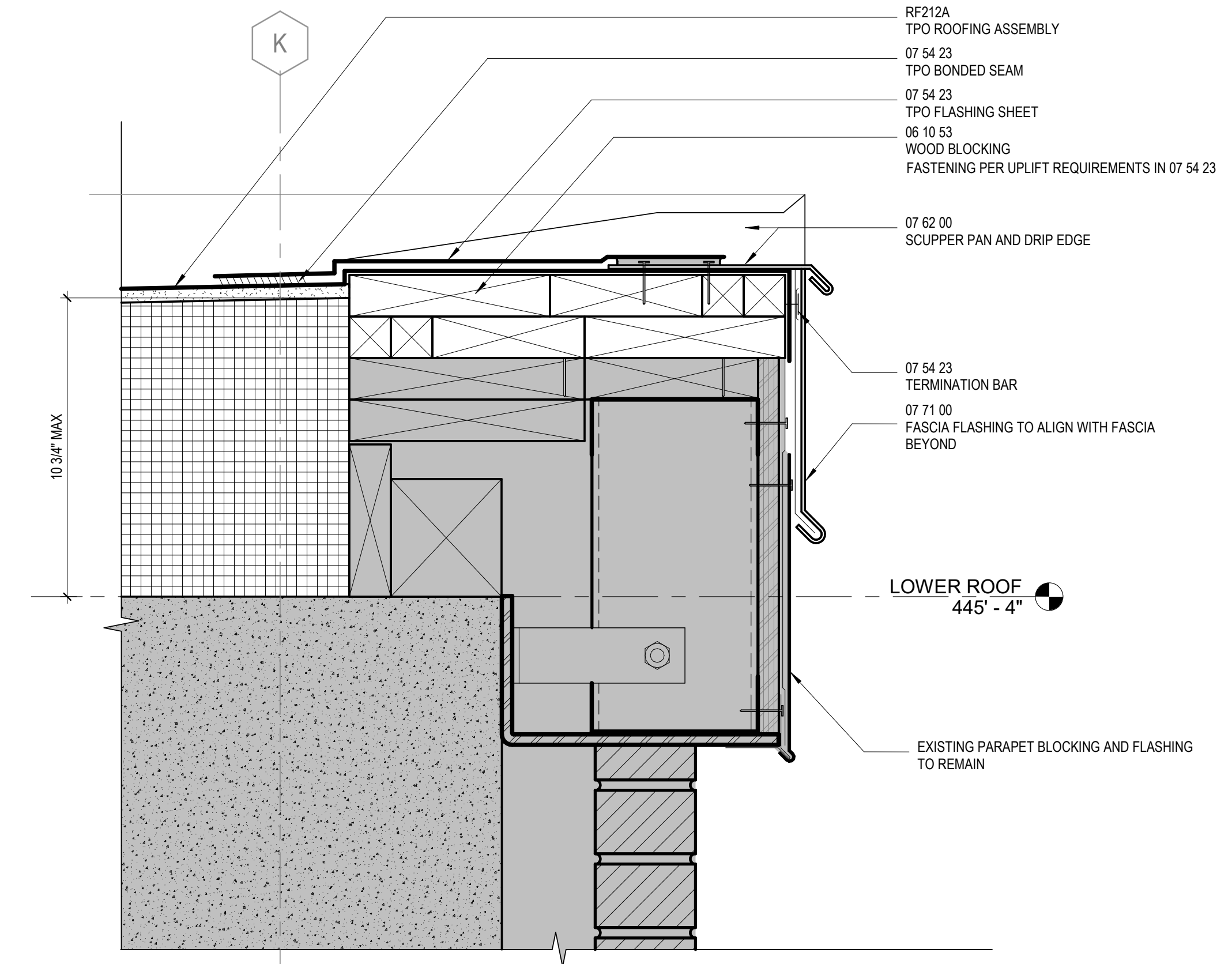
AUDIT/REVIEW
NVS Engineers and Consultants
4905 Professional Court, Raleigh, NC 27609

LIGHTING
Available Light
5700 Six Forks Road, Suite 203, Raleigh, NC 27609

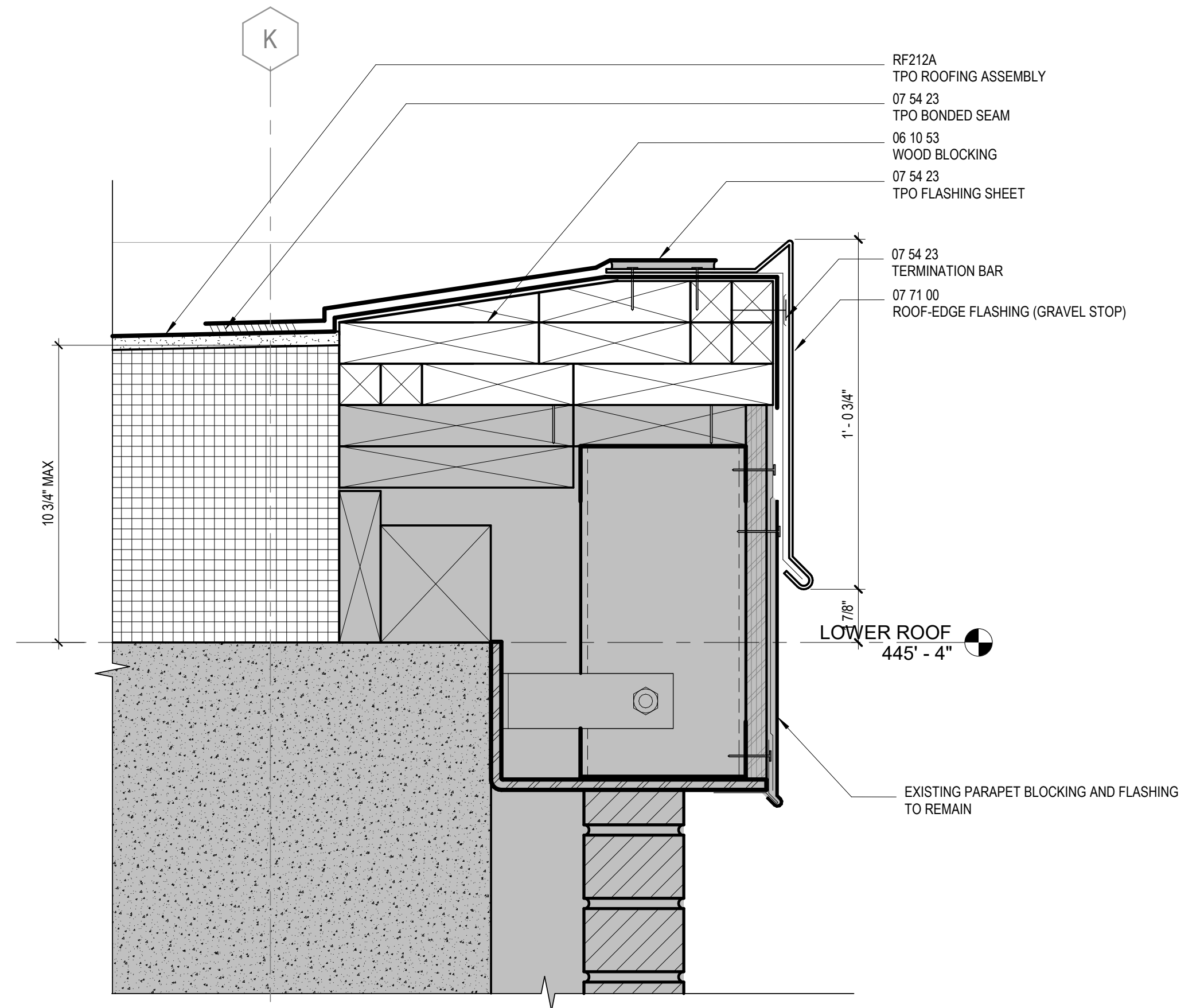
SUSTAINABILITY
Ecompad Consulting
8022 Providence Road Suite 500, Charlotte, NC 28277



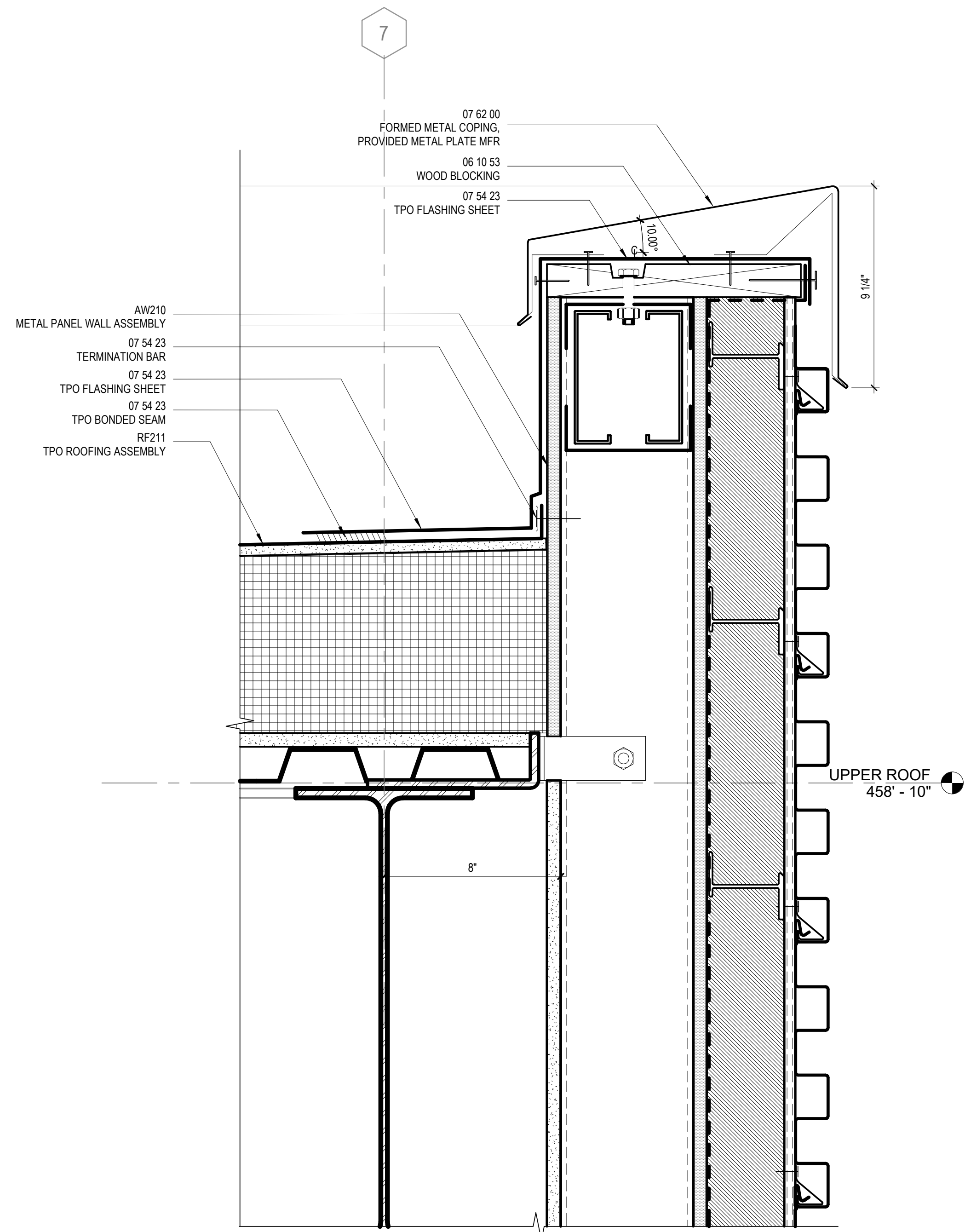
5 SECTION DETAIL - DRUM GRAVEL STOP
3" = 1'-0"



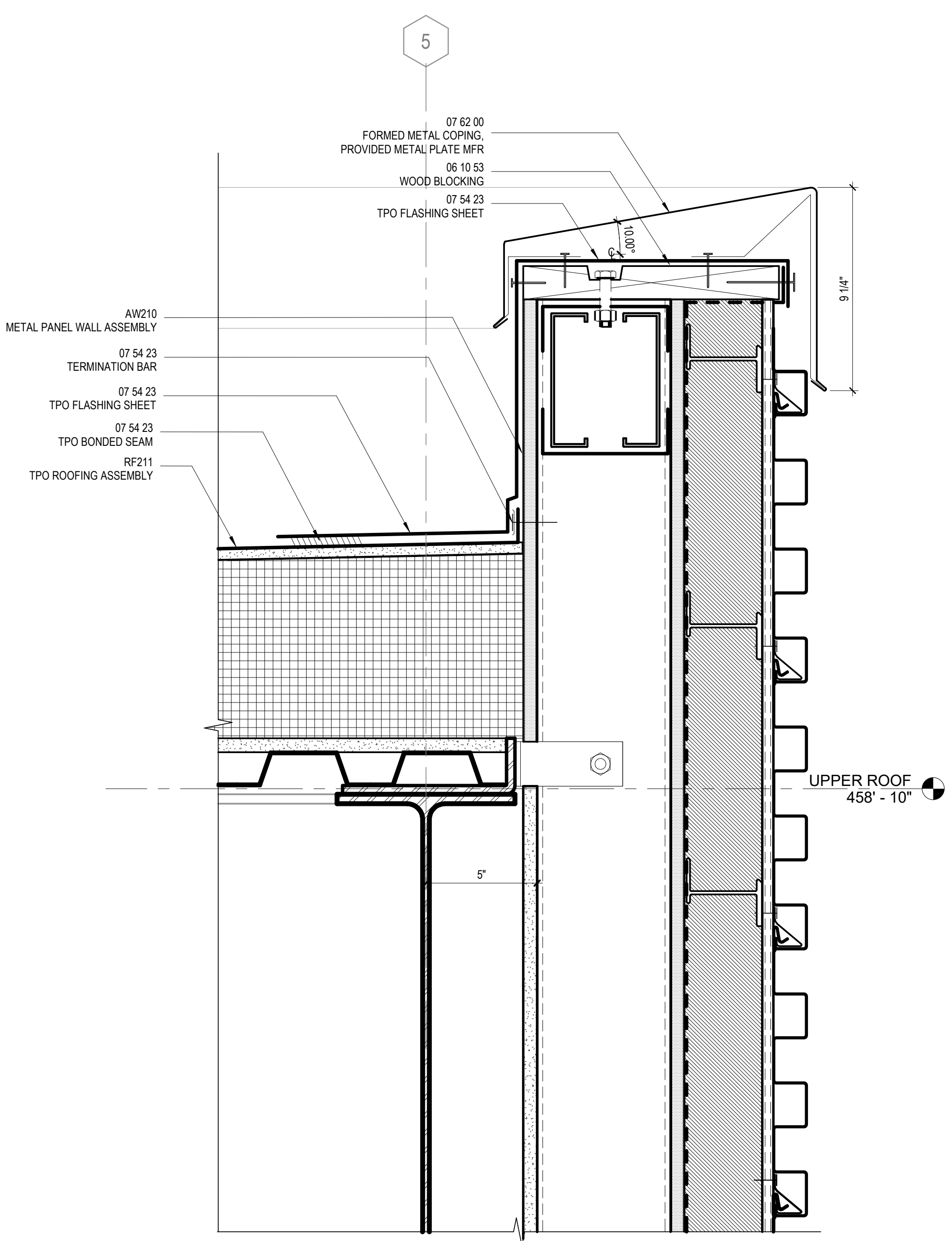
4 SECTION DETAIL - ROOF SCUPPER, TYPICAL
3" = 1'-0"



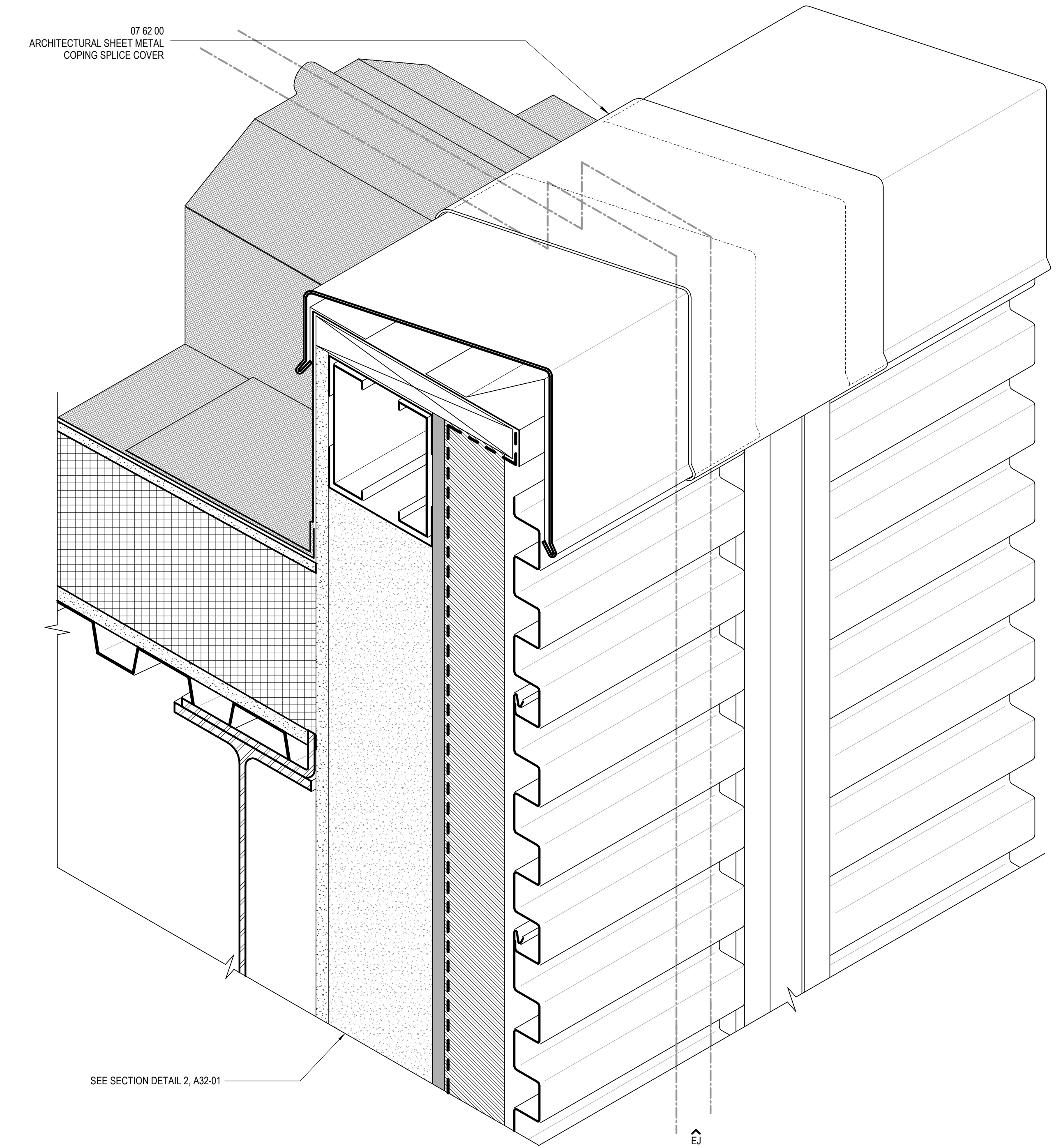
3 SECTION DETAIL - LOWER ROOF GRAVEL STOP, TYPICAL
3" = 1'-0"



9 SECTION DETAIL - PENTHOUSE PARAPET, TYPICAL
3" = 1'-0"



2 SECTION DETAIL - PENTHOUSE SOUTH PARAPET
3" = 1'-0"



1 AXONOMETRIC DETAIL - UPPER ROOF EXPANSION JOINT
3" = 1'-0"

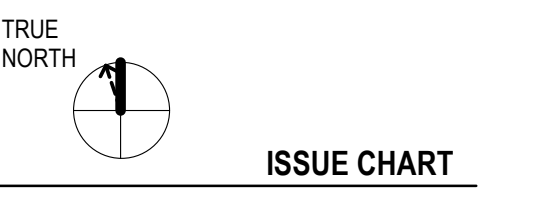
Mann Hall Renovation

STATE ID #22-24500-02B
NCSU PROJECT # 202220021



North Carolina State University

Facilities Division Design & Construction
Administrative Services Building III
2901 Wolf Village Way, Suite 531
Raleigh, NC 27695



3	ISSUE FOR BID - PROC	01/17/2025
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MARK	ISSUE	DATE
Job Number	820937.001	
Drawn	Author	
Checked	Checker	
Approved	Approver	
TITLE		

EXTERIOR ENVELOPE DETAILS

SHEET NUMBER

A32-01

CONSULTANTS

STRUCTURAL
Lynch Mykns Structural Engineers
301 N. West Street Suite 105, Raleigh, NC 27603

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Salas O'Brien
702 Oberlin Road, Raleigh, NC 27605
License (NC): F-1434
civil

NVS Engineers and Consultants
3300 Regency Parkway Suite 100, Cary, NC 27518

CONTRACTOR
Holder Construction Group
6210 Ardrey Kell Road Suite 400, Charlotte, NC 28277

AUDIOVISUAL
NVS Engineers and Consultants
4905 Professional Court, Raleigh, NC 27609

LIGHTING
Available Light
5700 Six Forks Road, Suite 203, Raleigh, NC 27609

SUSTAINABILITY
Ecoimpact Consulting
8022 Providence Road Suite 500, Charlotte, NC 28277

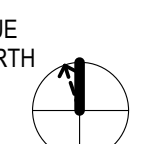
Mann Hall Renovation

STATE ID #22-2450-02B
NC SU PROJECT # 202220021



North Carolina State University

Facilities Division Design & Construction
Administrative Services Building III
2001 Wolf Village Way, Suite 531
Raleigh, NC 27695



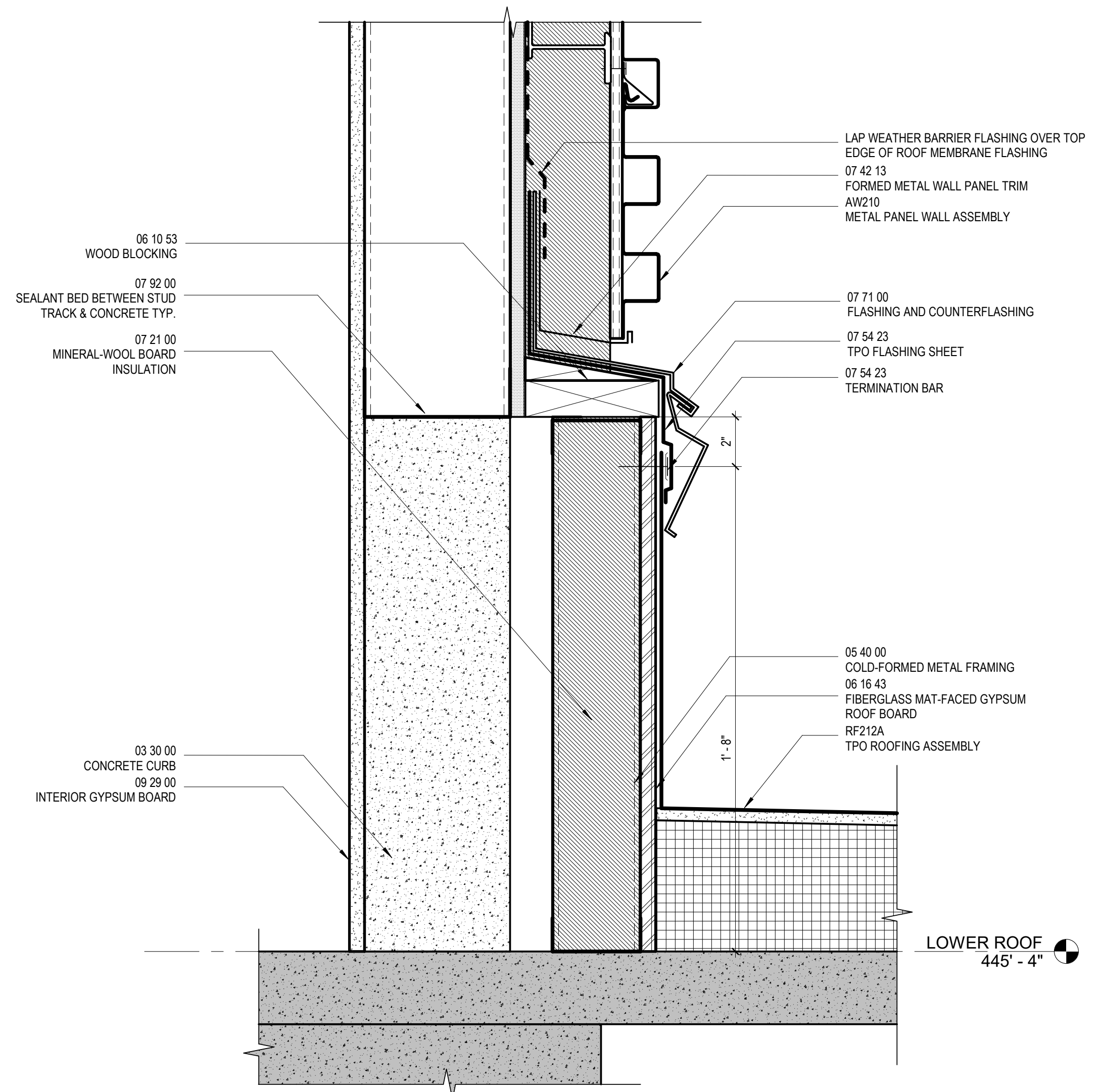
ISSUE CHART

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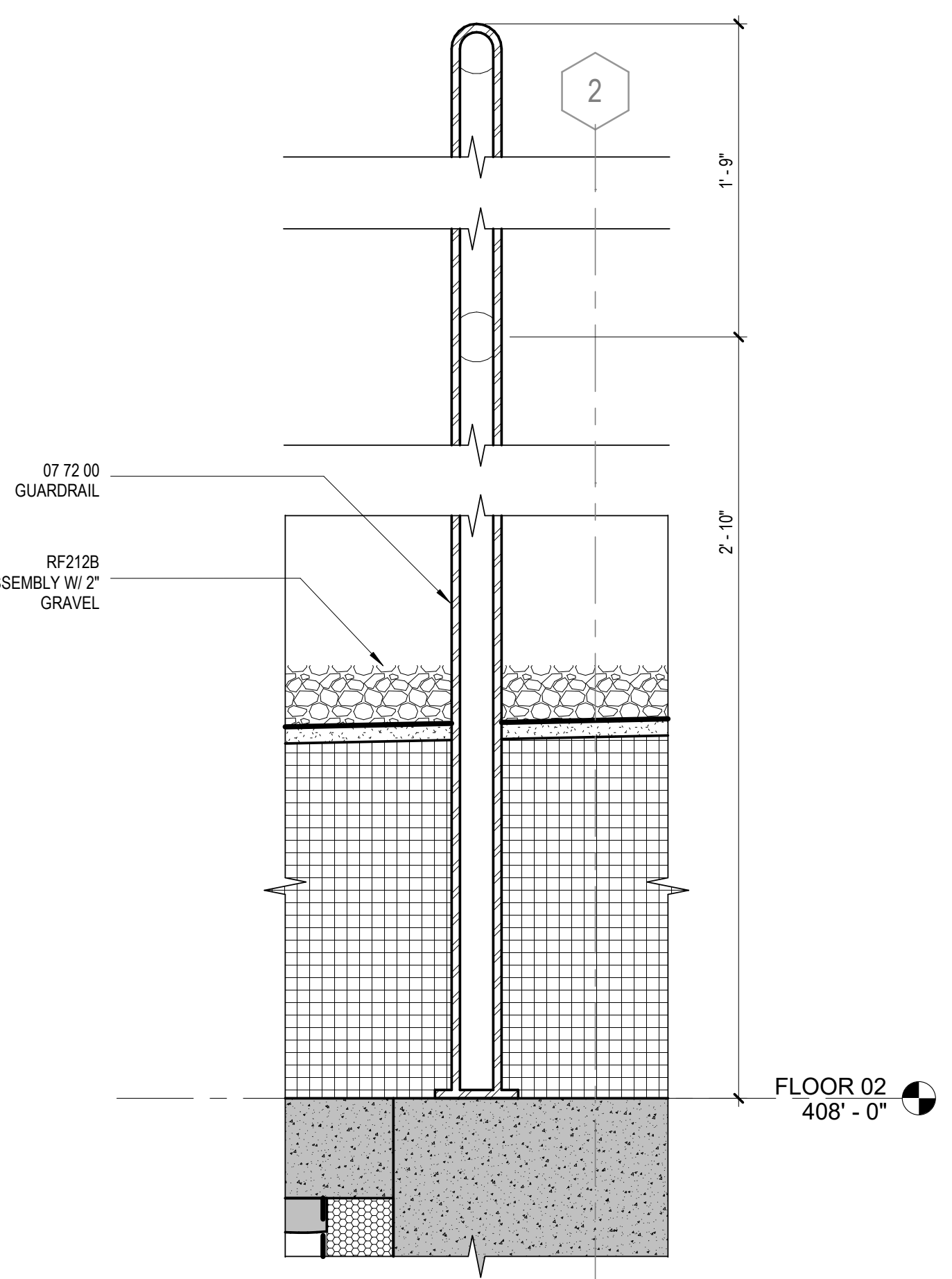
EXTERIOR ENVELOPE DETAILS

SHEET NUMBER

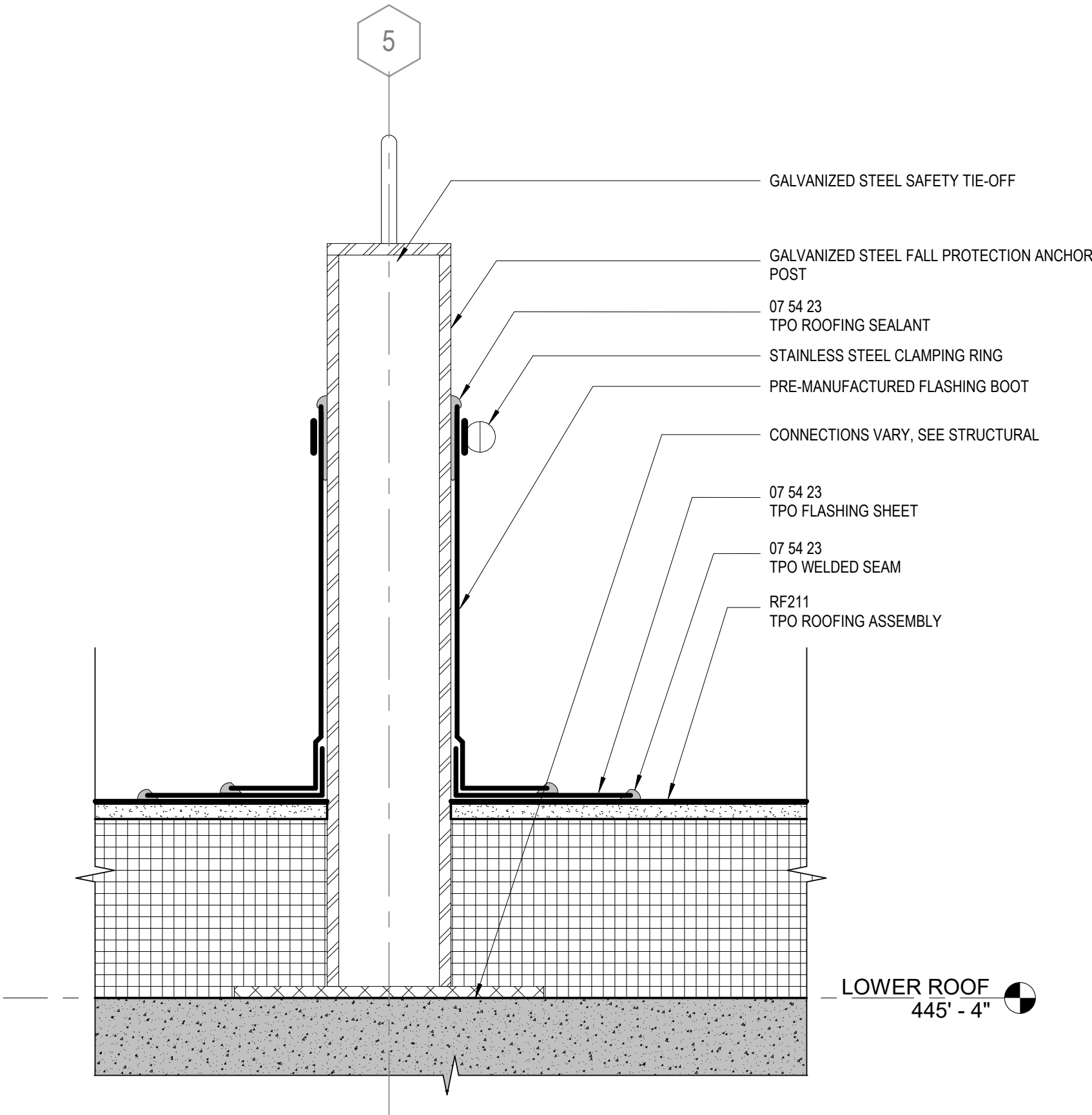
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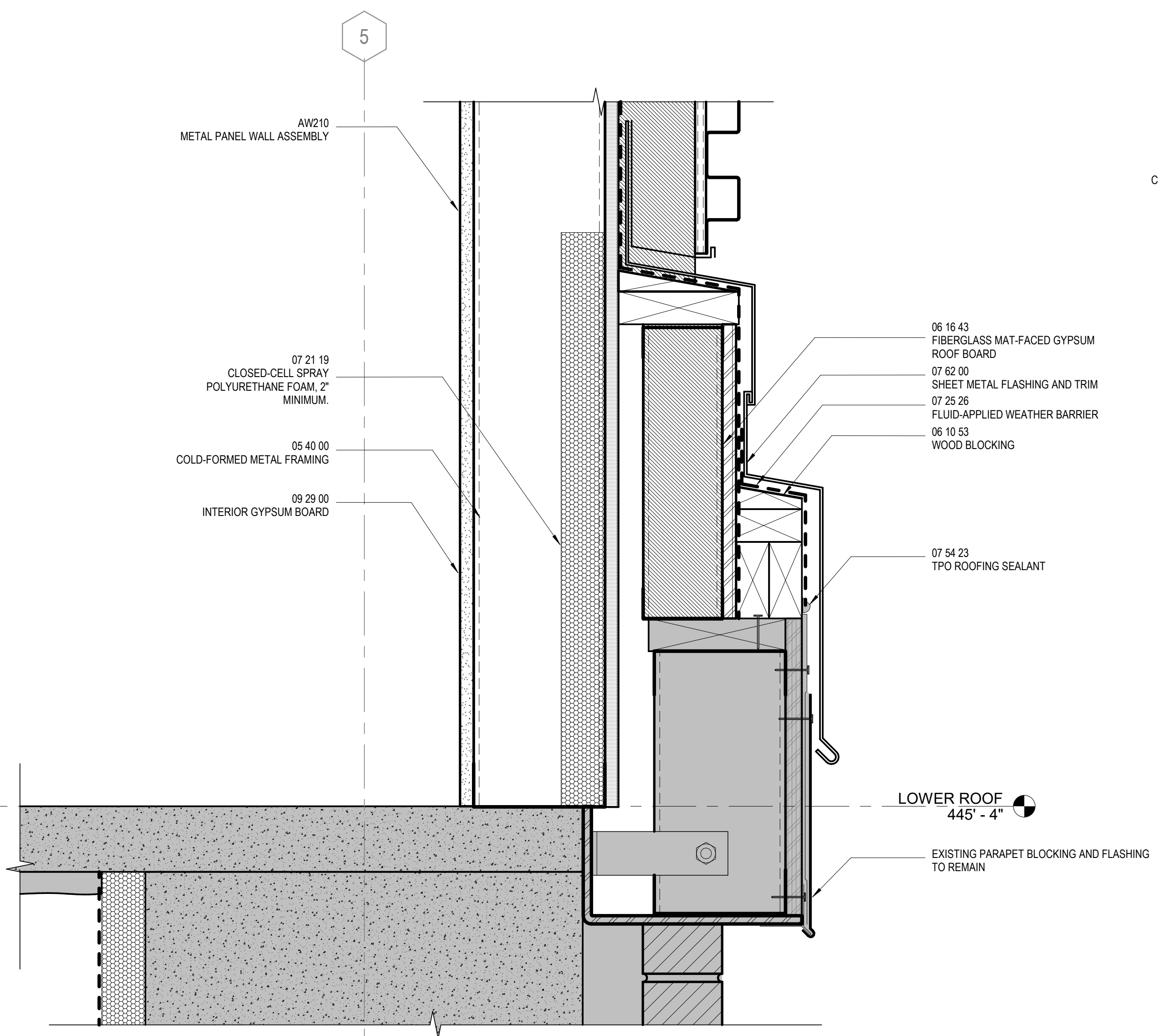
SECTION DETAIL - PENTHOUSE WALL TRANSITION
⑤ 3" = 1'-0"



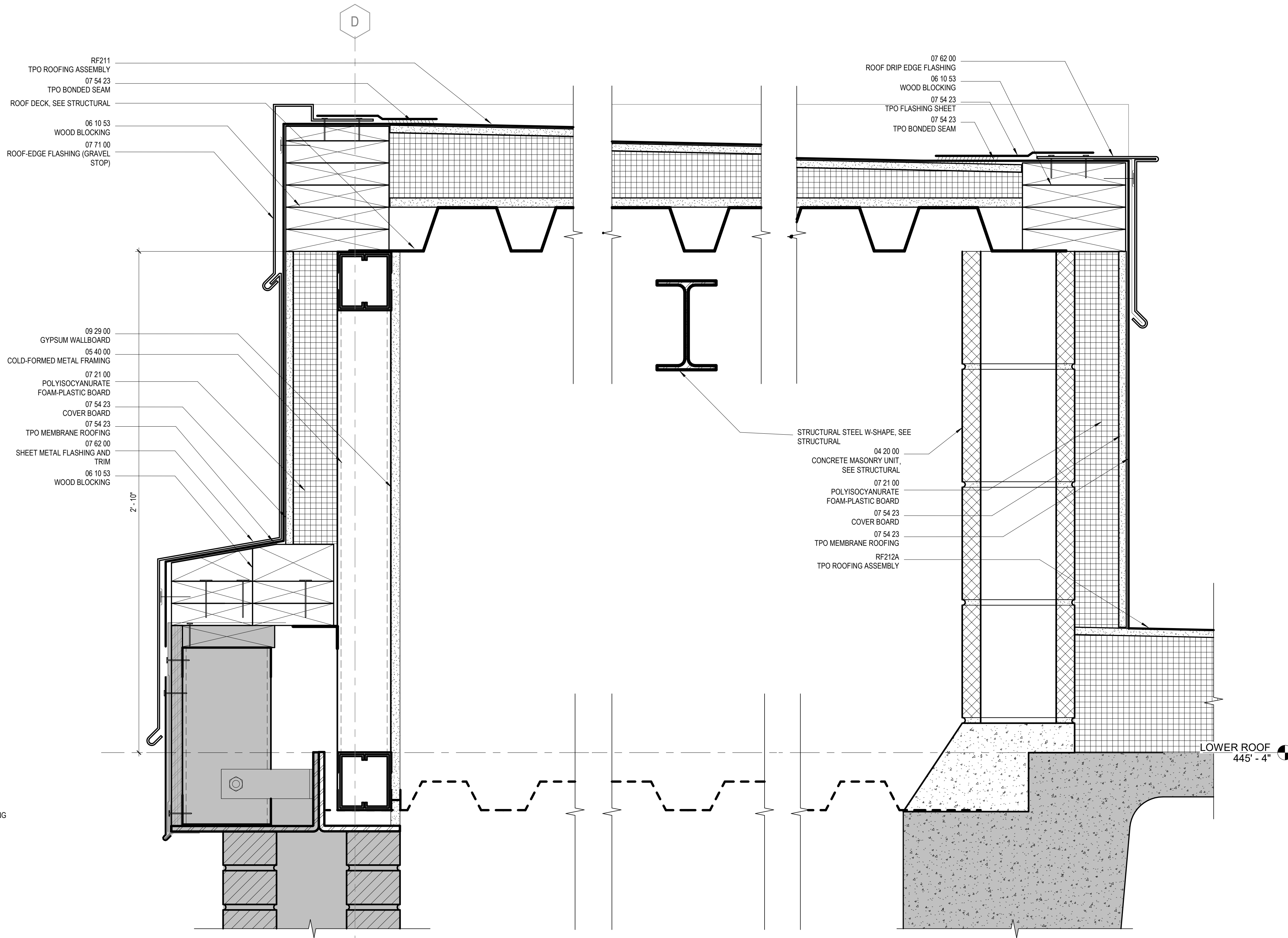
SECTION DETAIL - LIGHT COURT GUARDRAIL
④ 3" = 1'-0"



SECTION DETAIL - FALL PROTECTION ANCHOR, TYPICAL
③ 3" = 1'-0"



SECTION DETAIL - PENTHOUSE WALL AND ROOF TRANSITION
② 3" = 1'-0"



SECTION DETAIL - ELEVATOR OVERRUN
① 3" = 1'-0"

CONSULTANTS

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Lynch Mykns Structural Engineers
301 N. West Street Suite 105, Raleigh, NC 27603

MEP
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License (NC): F-1434
civil

NVS Engineers and Consultants
3300 Regency Parkway Suite 100, Cary, NC 27518

CONTRACTOR
Holder Construction Group
6210 Ardrey Kell Road Suite 400, Charlotte, NC 28277

AUDIOVISUAL
NVS Engineers and Consultants
4905 Professional Court, Raleigh, NC 27609

LIGHTING
Available Light
5700 Six Forks Road, Suite 203, Raleigh, NC 27609

SUSTAINABILITY
Ecoimpact Consulting
8022 Providence Road Suite 500, Charlotte, NC 28277

Mann Hall Renovation

STATE ID #22-24500-02B
NCSU PROJECT # 202220021



North Carolina State University

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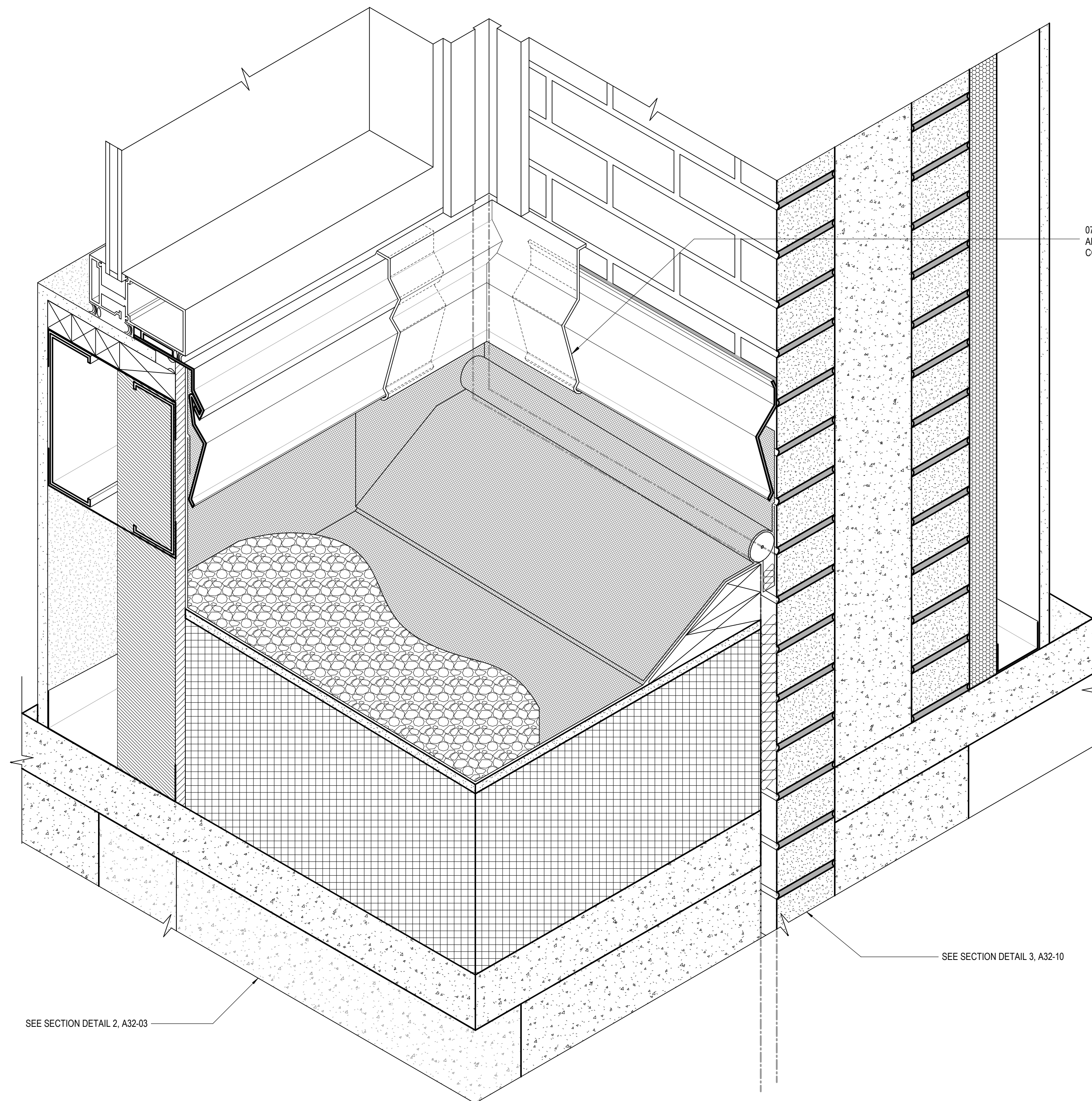
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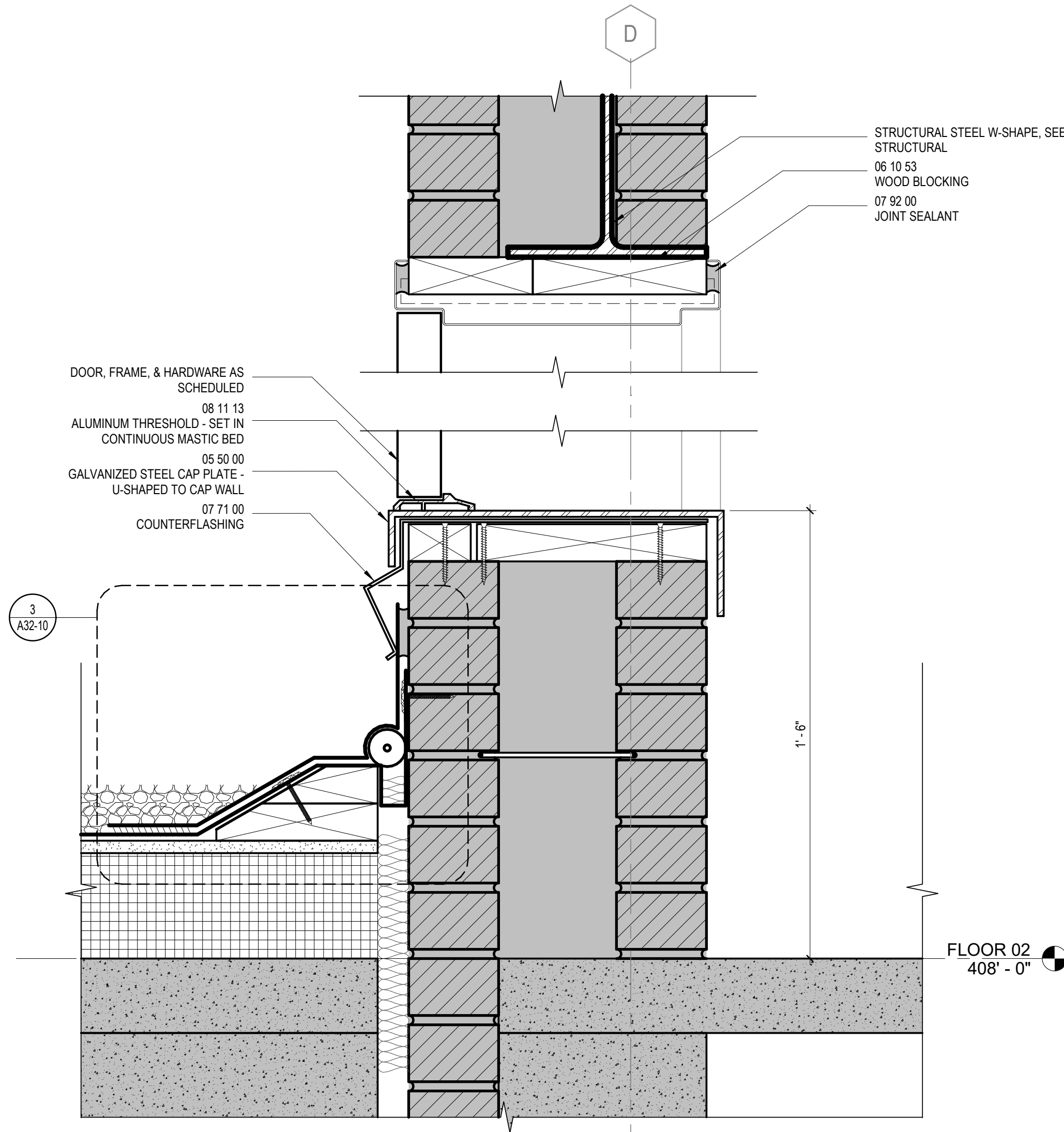
EXTERIOR ENVELOPE DETAILS

SHEET NUMBER

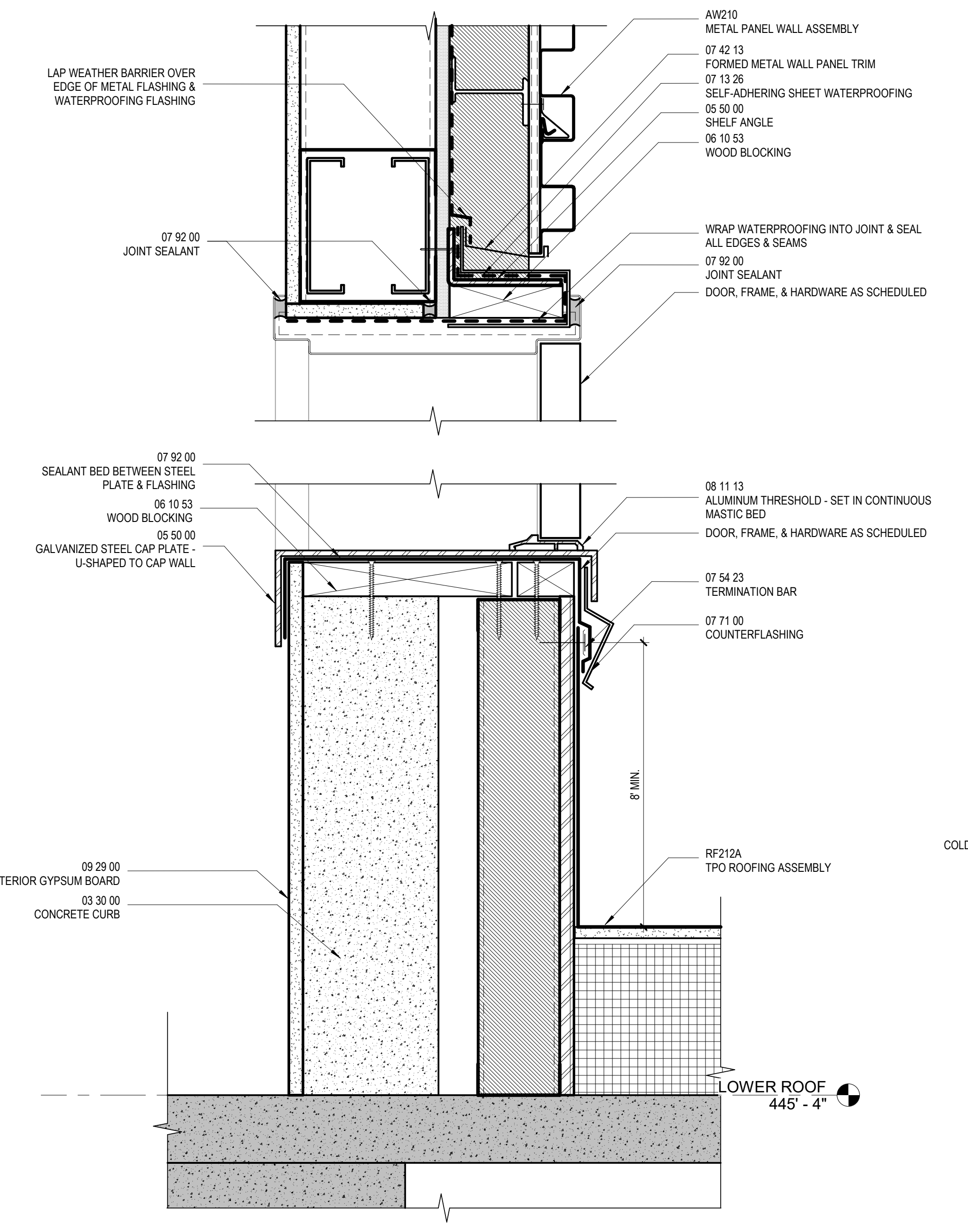
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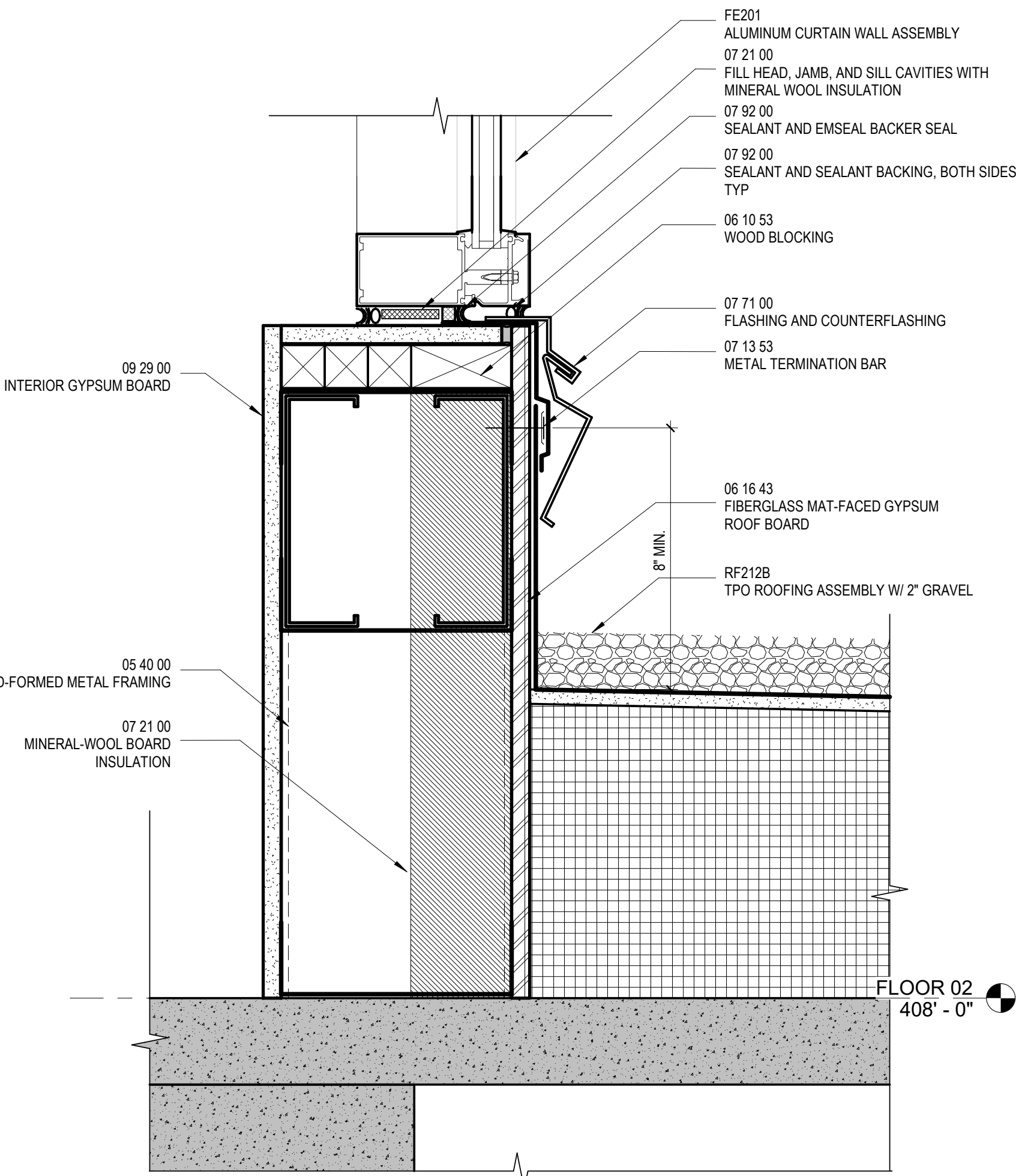
4 AXONOMETRIC DETAIL - LIGHT COURT EXPANSION JOINT
3" = 1'-0"



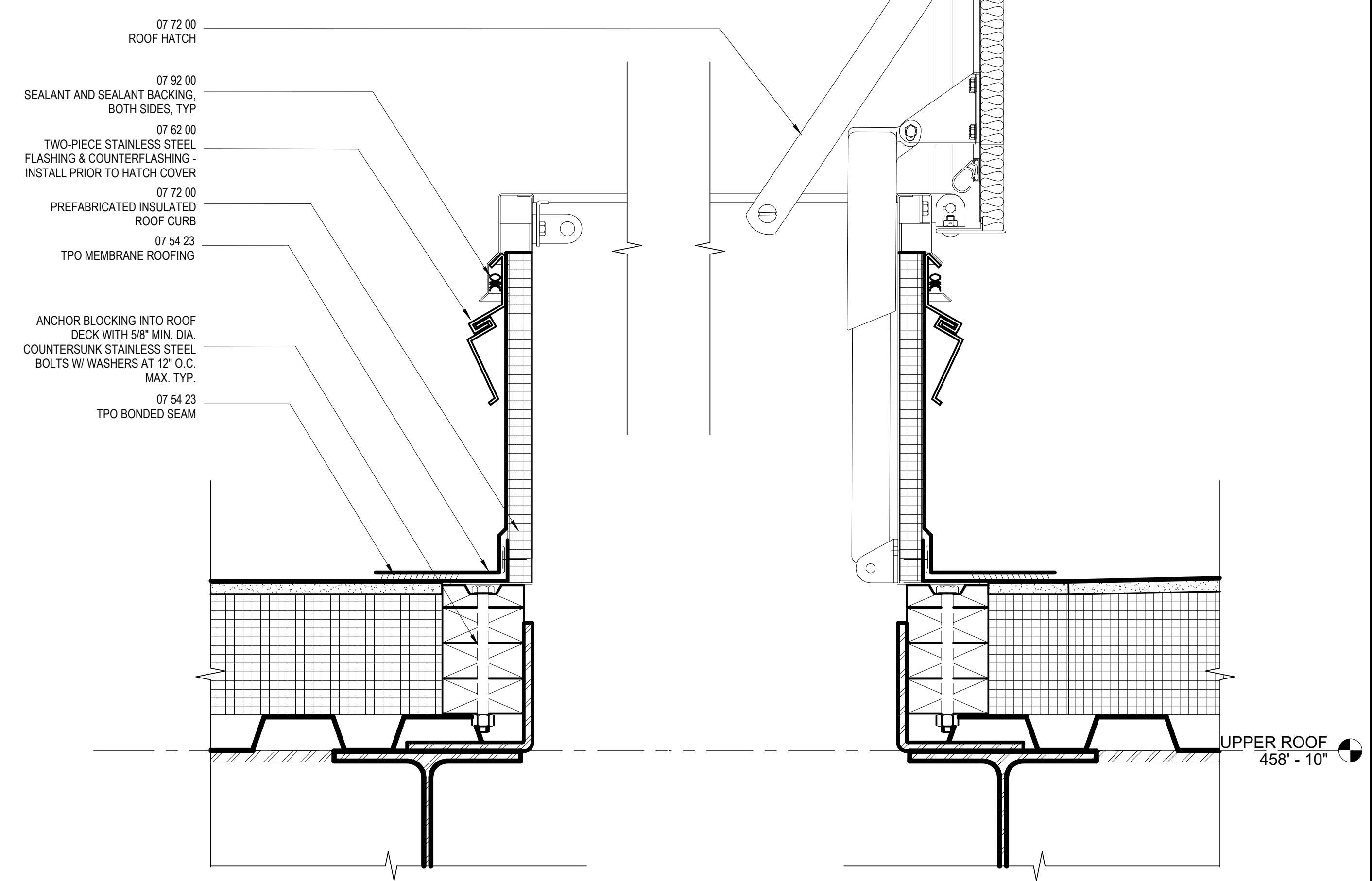
5 SECTION DETAIL - LIGHT COURT DOOR SILL AND HEAD
3" = 1'-0"



3 SECTION DETAIL - PENTHOUSE DOOR SILL AND HEAD
3" = 1'-0"



2 SECTION DETAIL - LIGHT COURT CURTAIN WALL SILL
3" = 1'-0"



1 SECTION DETAIL - HATCH DOOR
3" = 1'-0"

12/20/2024 5:16:15 PM Autodesk Docs\NCSU Mann Hall\ARCH_NCSU Mann Hall.rvt

CONSULTANTS

STRUCTURAL
Lynch Mykns Structural Engineers
301 N. West Street Suite 105, Raleigh, NC 27603

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Holder Construction Group
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AUDIOVISUAL
NVS Engineers and Consultants
4905 Professional Court, Raleigh, NC 27609

LIGHTING
Available Light
5700 Six Forks Road, Suite 203, Raleigh, NC 27609

SUSTAINABILITY
Ecoimpact Consulting
8022 Providence Road Suite 500, Charlotte, NC 28277

Mann Hall Renovation

STATE ID #22-24500-02B
NCSU PROJECT # 202220021



North Carolina State University

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Administrative Services Building III
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Raleigh, NC 27695



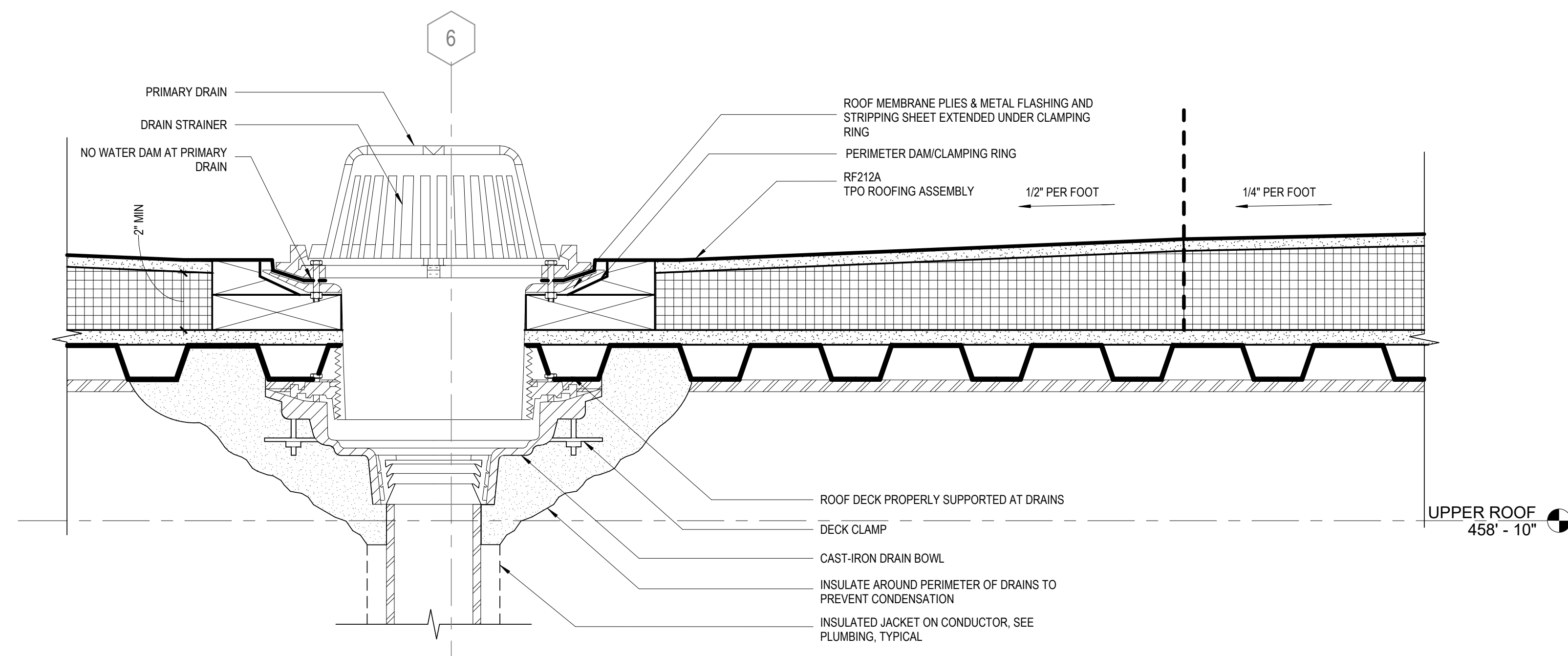
ISSUE CHART

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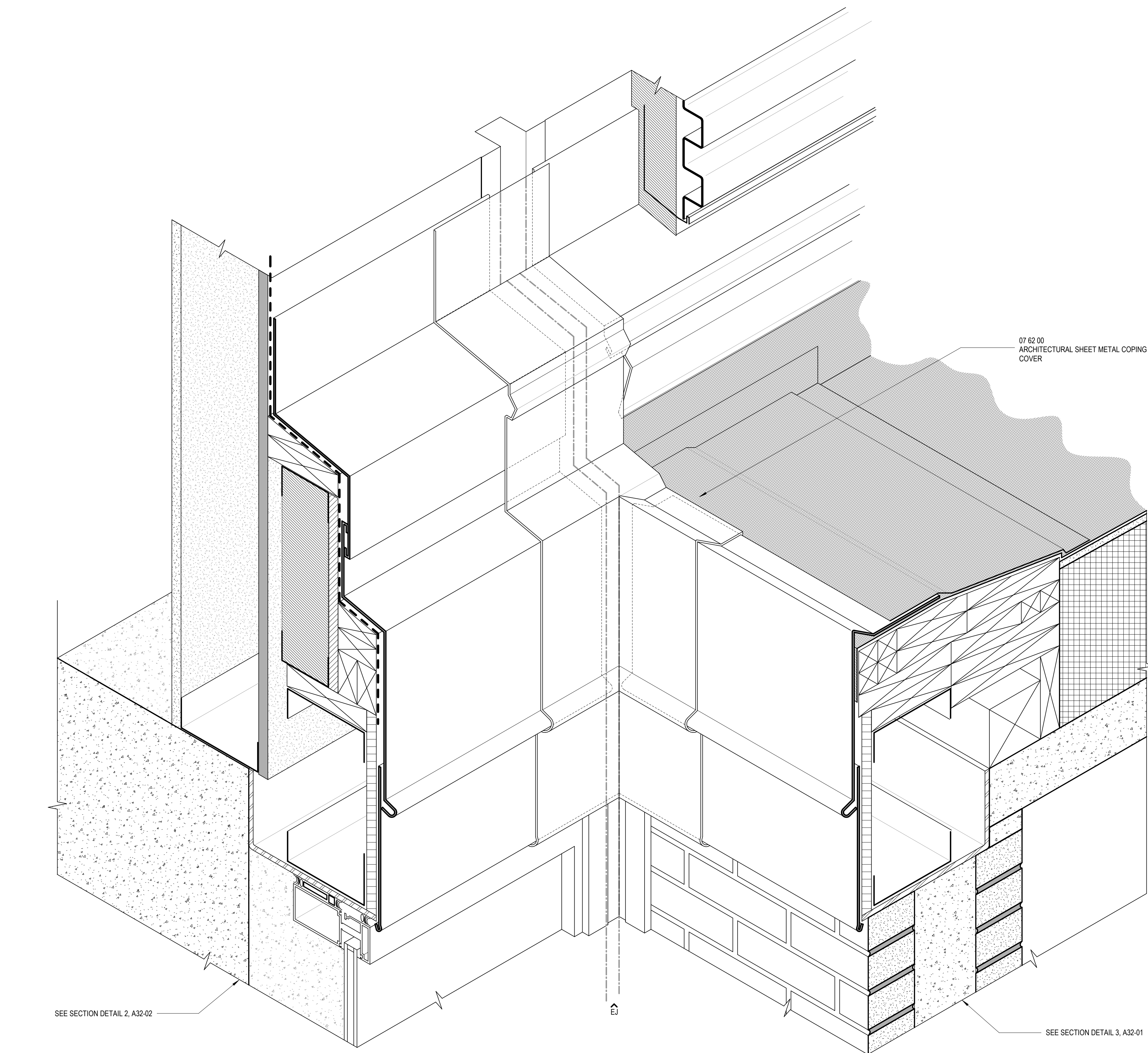
EXTERIOR ENVELOPE DETAILS

SHEET NUMBER

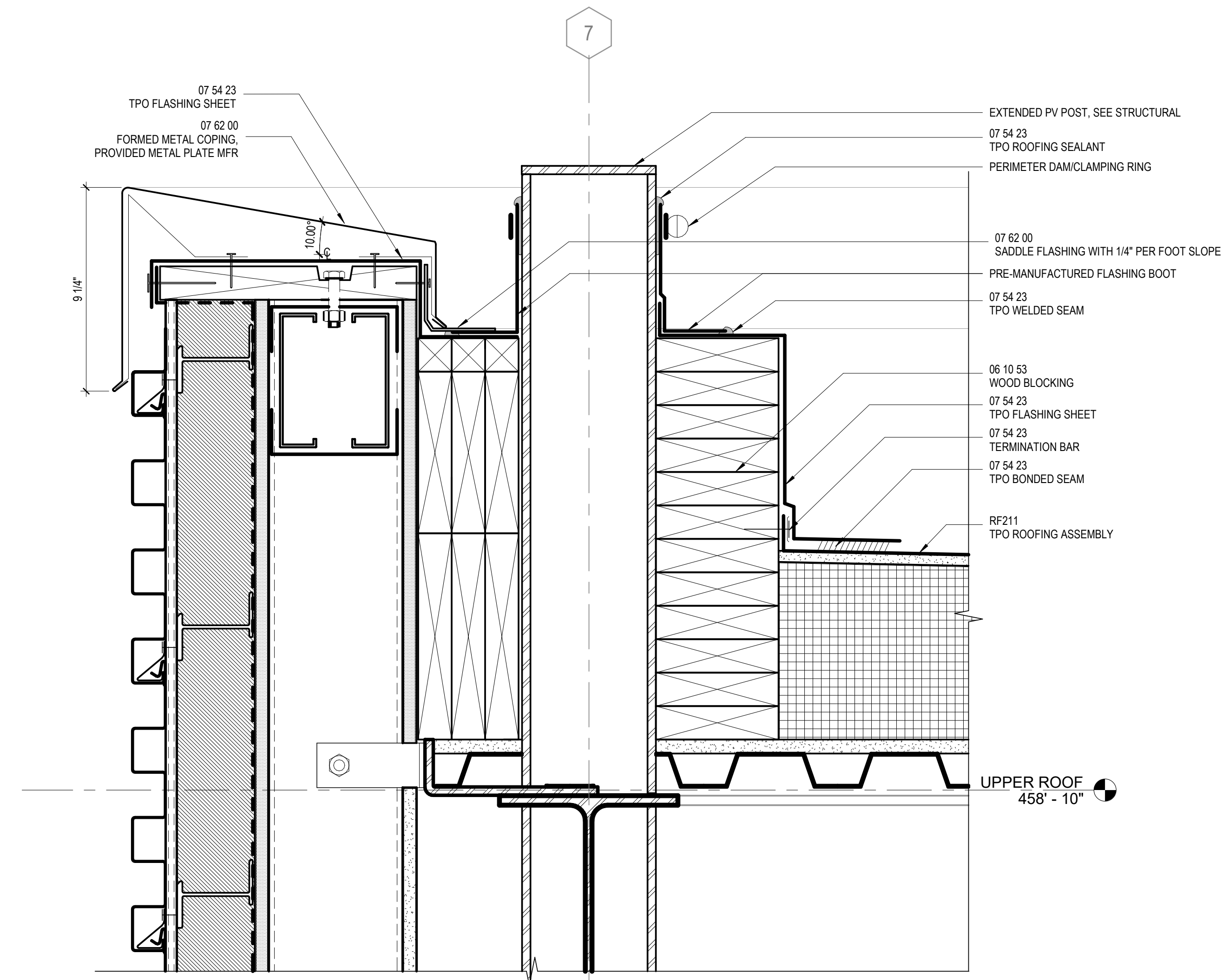
A32-04



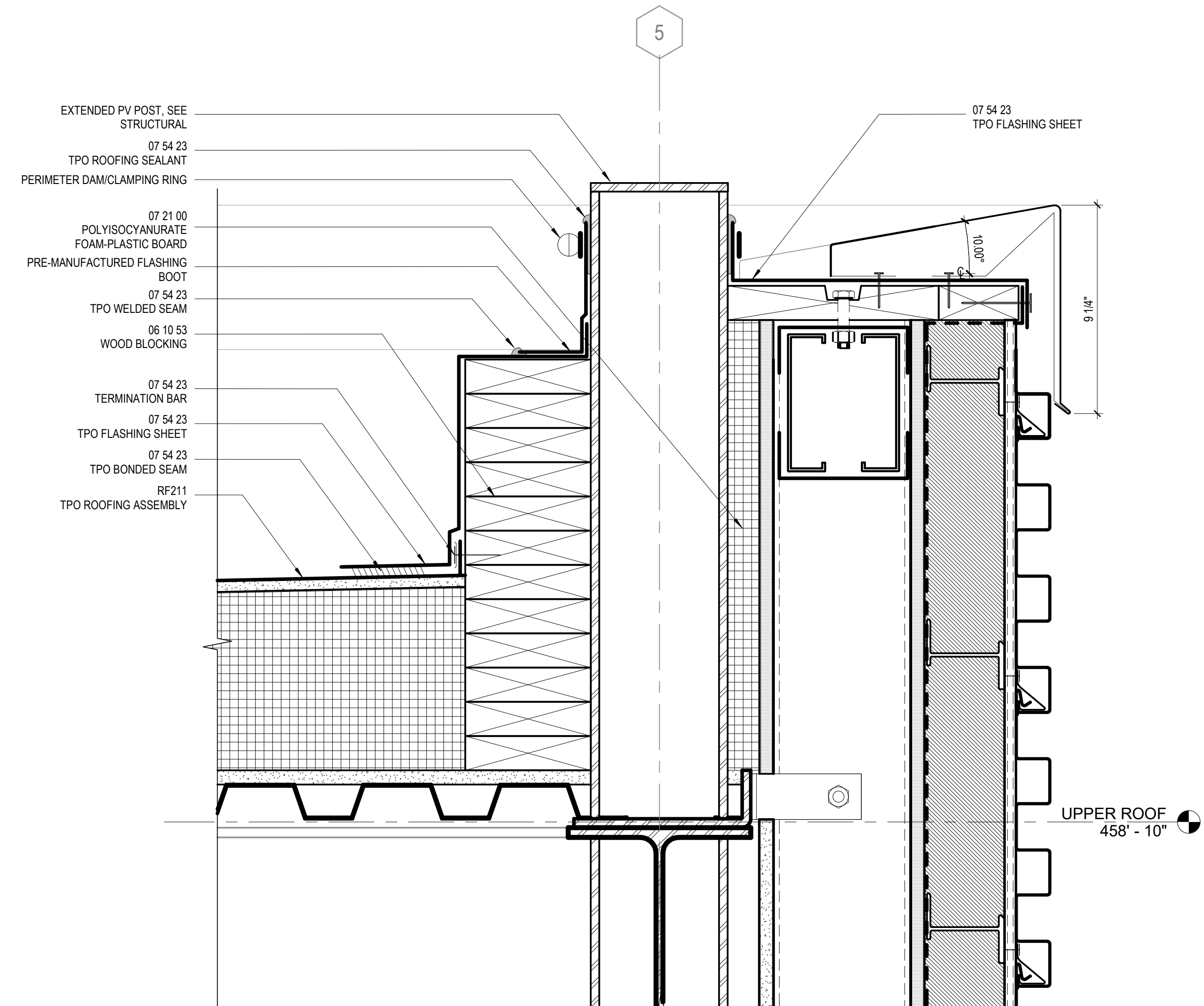
SECTION DETAIL - ROOF DRAIN, TYPICAL
4
3" = 1'-0"



AXONOMETRIC DETAIL - PENTHOUSE GRAVEL STOP CORNER
2
3" = 1'-0"



SECTION DETAIL - PENTHOUSE NORTH PV POST
3
3" = 1'-0"



SECTION DETAIL - PENTHOUSE SOUTH PV POST
1
3" = 1'-0"

CONSULTANTS

STRUCTURAL
Lynch Mykins Structural Engineers
301 N. West Street Suite 105, Raleigh, NC 27603

MEP
Salas O'Brien
702 Oberlin Road, Raleigh, NC 27605
License (NC): F-1434
civil

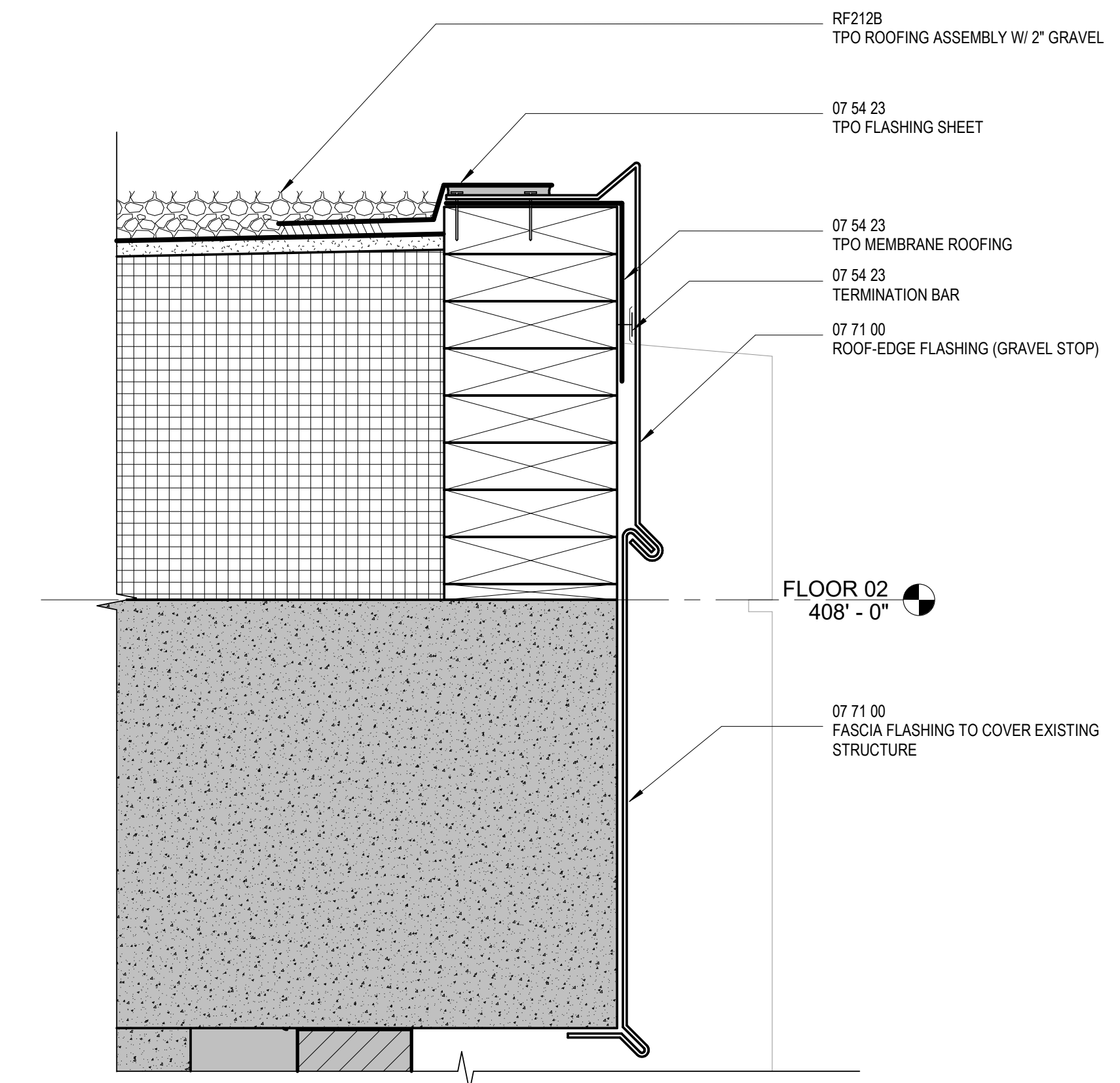
NVS Engineers and Consultants
3300 Regency Parkway Suite 100, Cary, NC 27518

CONTRACTOR
Holder Construction Group
6210 Ardrey Kell Road Suite 400, Charlotte, NC 28277

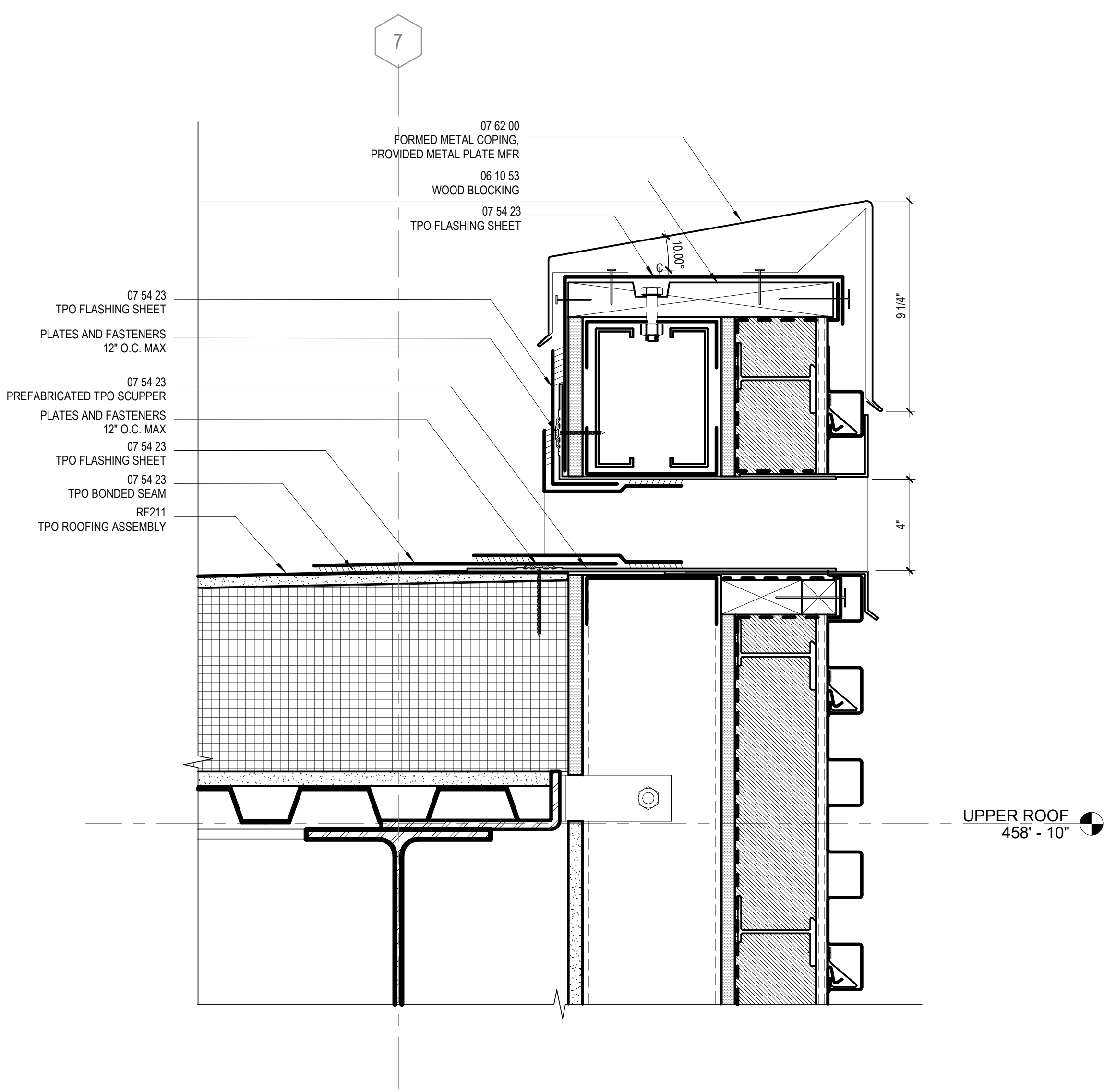
AUDIOVISUAL
NVS Engineers and Consultants
4905 Professional Court, Raleigh, NC 27609

LIGHTING
Available Light
5700 Six Forks Road, Suite 203, Raleigh, NC 27609

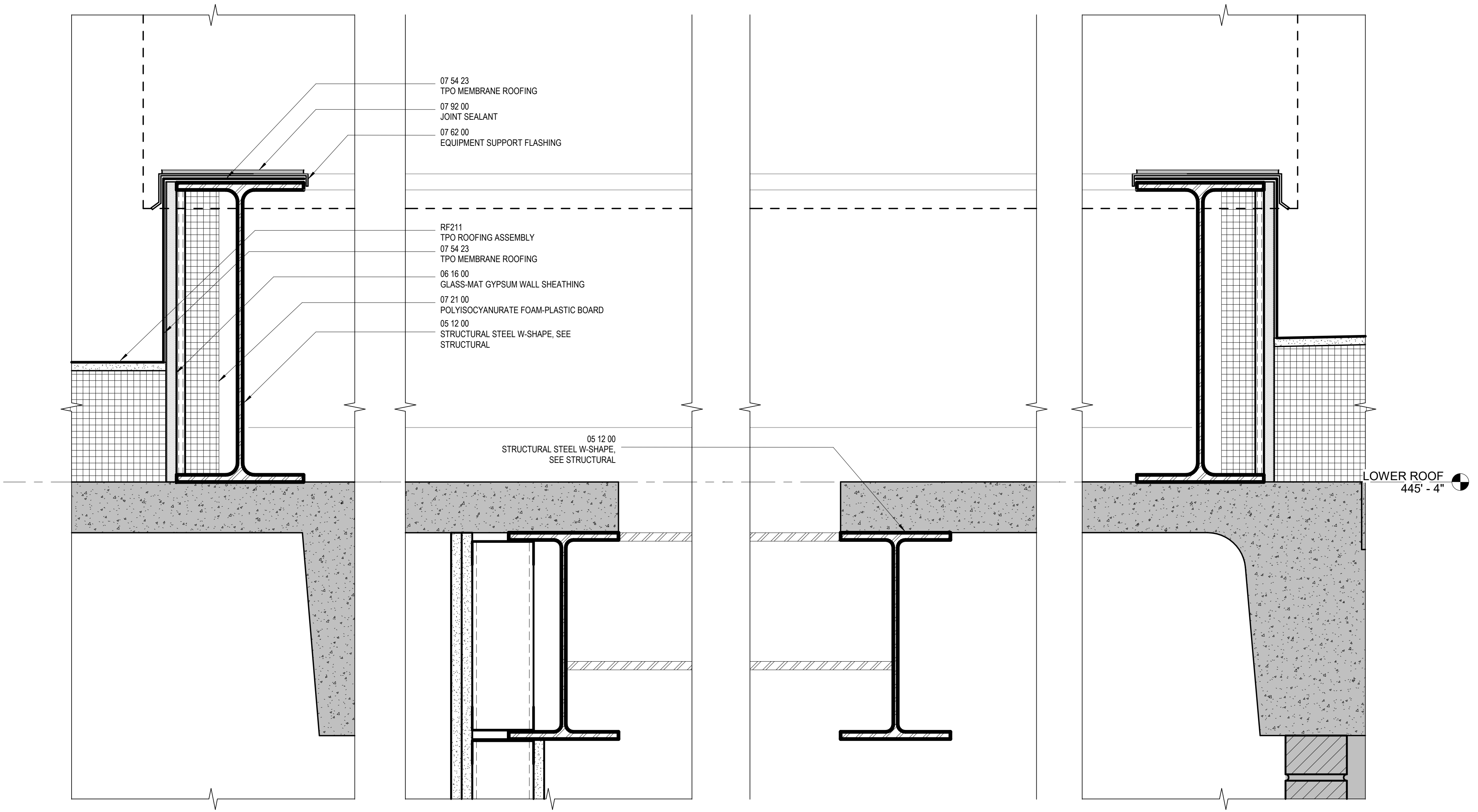
SUSTAINABILITY
Ecoimpact Consulting
8022 Providence Road Suite 500, Charlotte, NC 28277



SECTION DETAIL - LIGHTCOURT
2 GRAVEL STOP
3" = 1'-0"



SECTION DETAIL - PENTHOUSE
3 SCUPPER, TYPICAL
3" = 1'-0"



SECTION DETAIL - LAB EXHUAUST CURB
1 AND OPENING
3" = 1'-0"

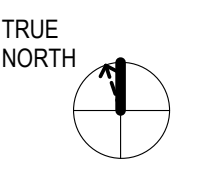
Mann Hall Renovation

STATE ID #22-24500-02B
NC SU PROJECT # 202220021



North Carolina State University

Facilities Division Design & Construction
Administrative Services Building III
2901 Wolf Village Way, Suite 531
Raleigh, NC 27695



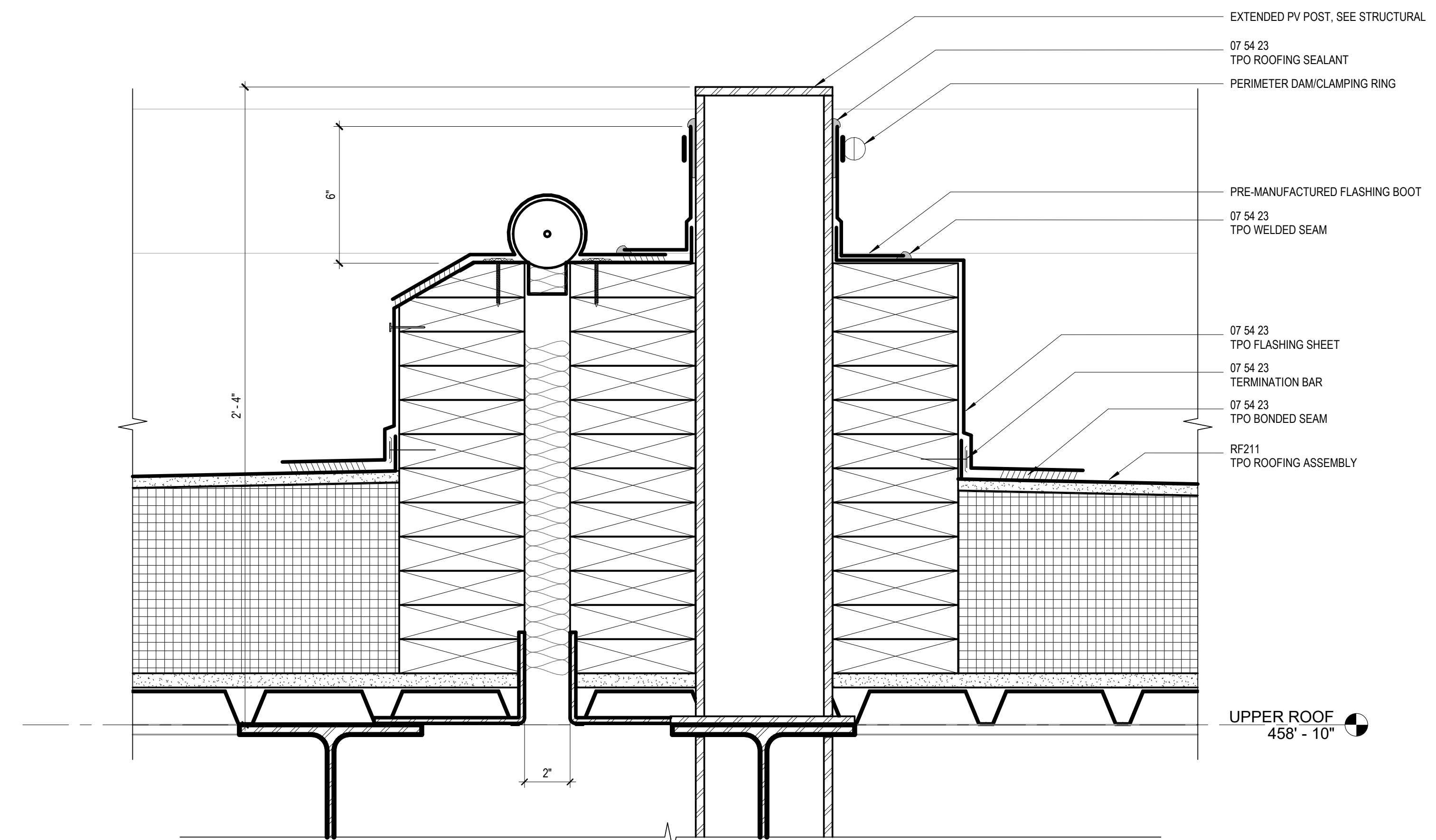
ISSUE CHART

3	ISSUE FOR BID - PROC	01/17/2025
2	ISSUE FOR BID - DEMO REV 1	10/28/2024
1	ISSUE FOR BID - DEMO	4/17/2024
MARK	ISSUE	DATE
Job Number		820937.001
Drawn	Author	
Checked	Checker	
Approved	Approver	
TITLE		

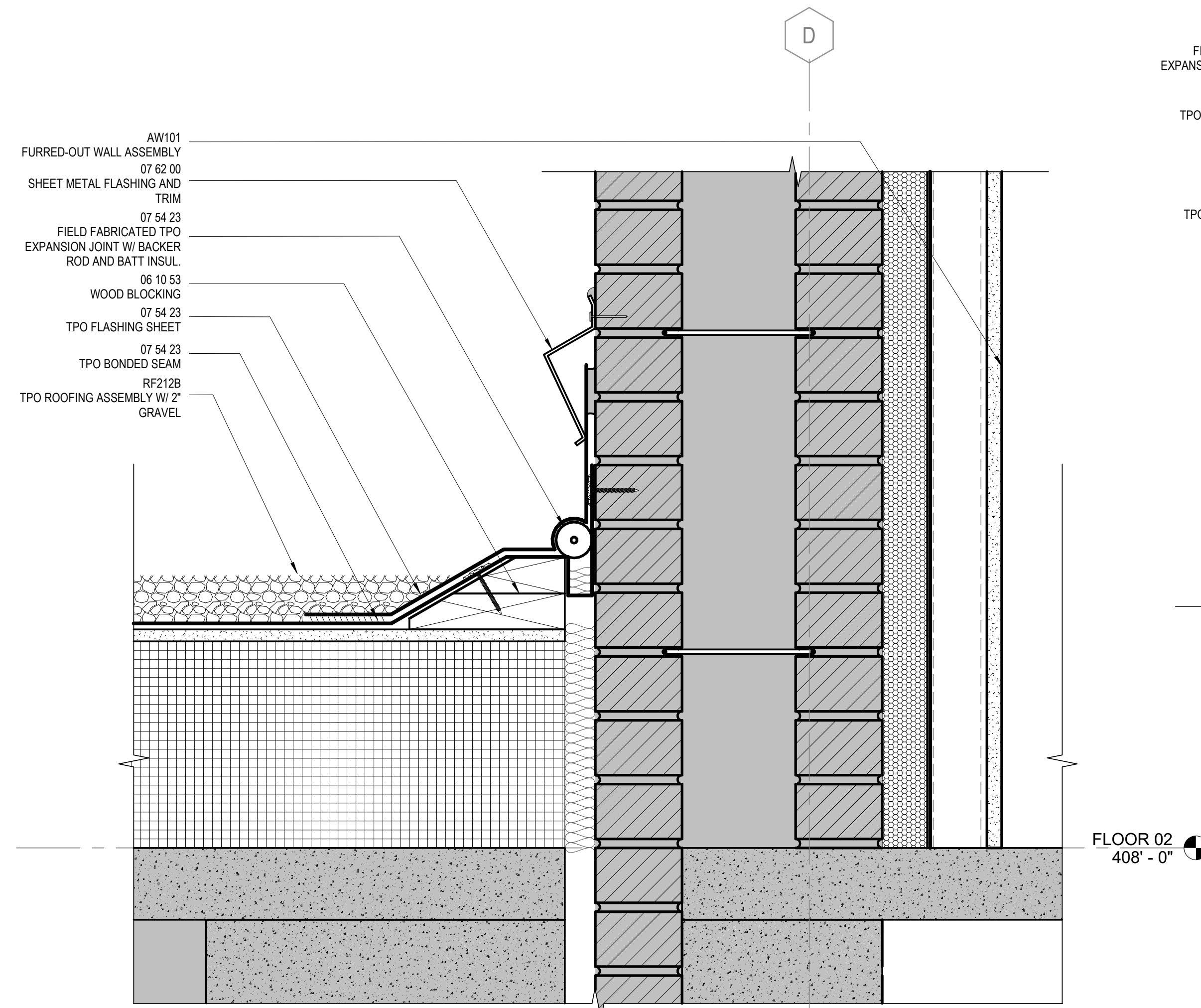
EXTERIOR ENVELOPE
DETAILS

SHEET NUMBER

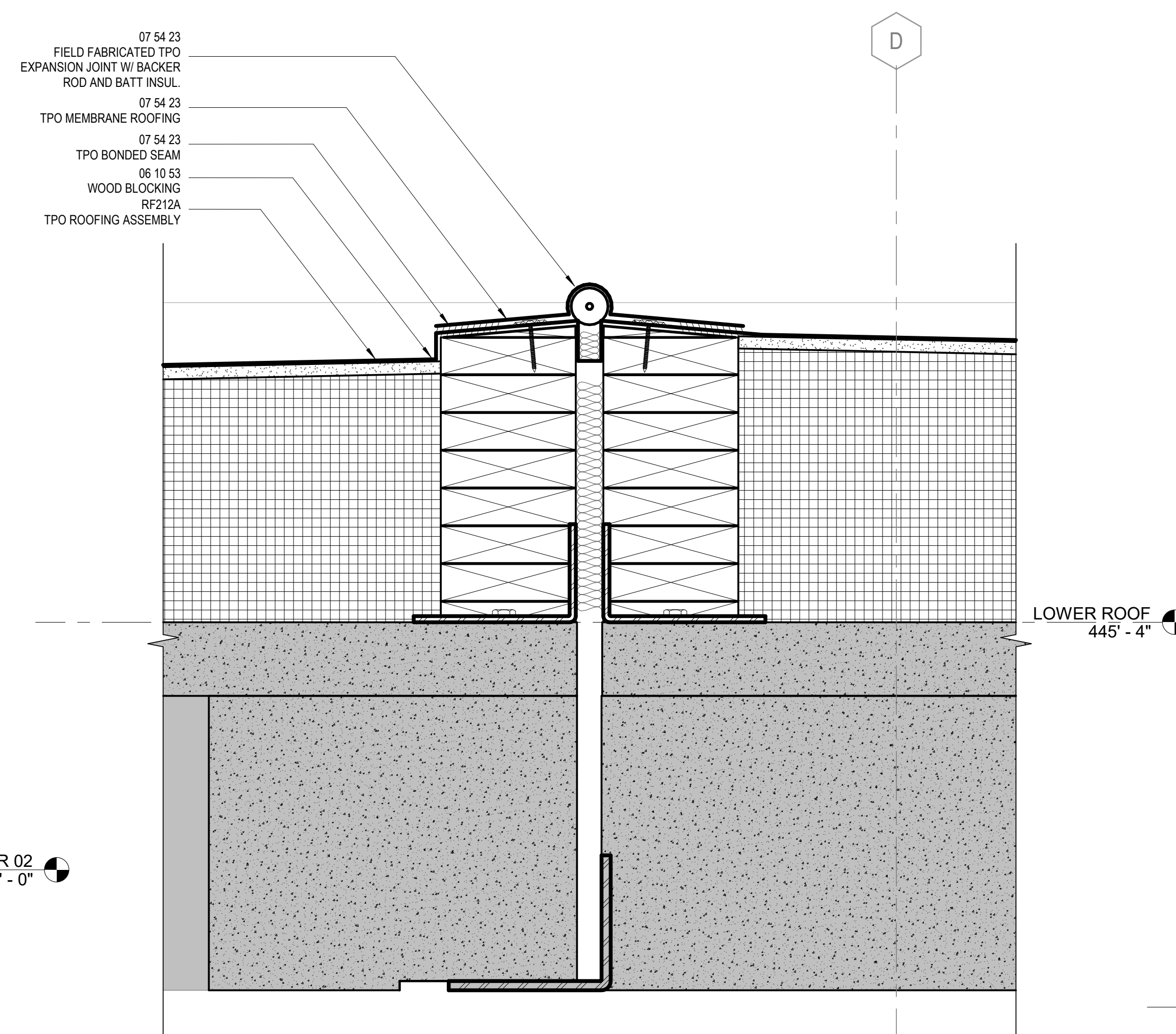
A32-05



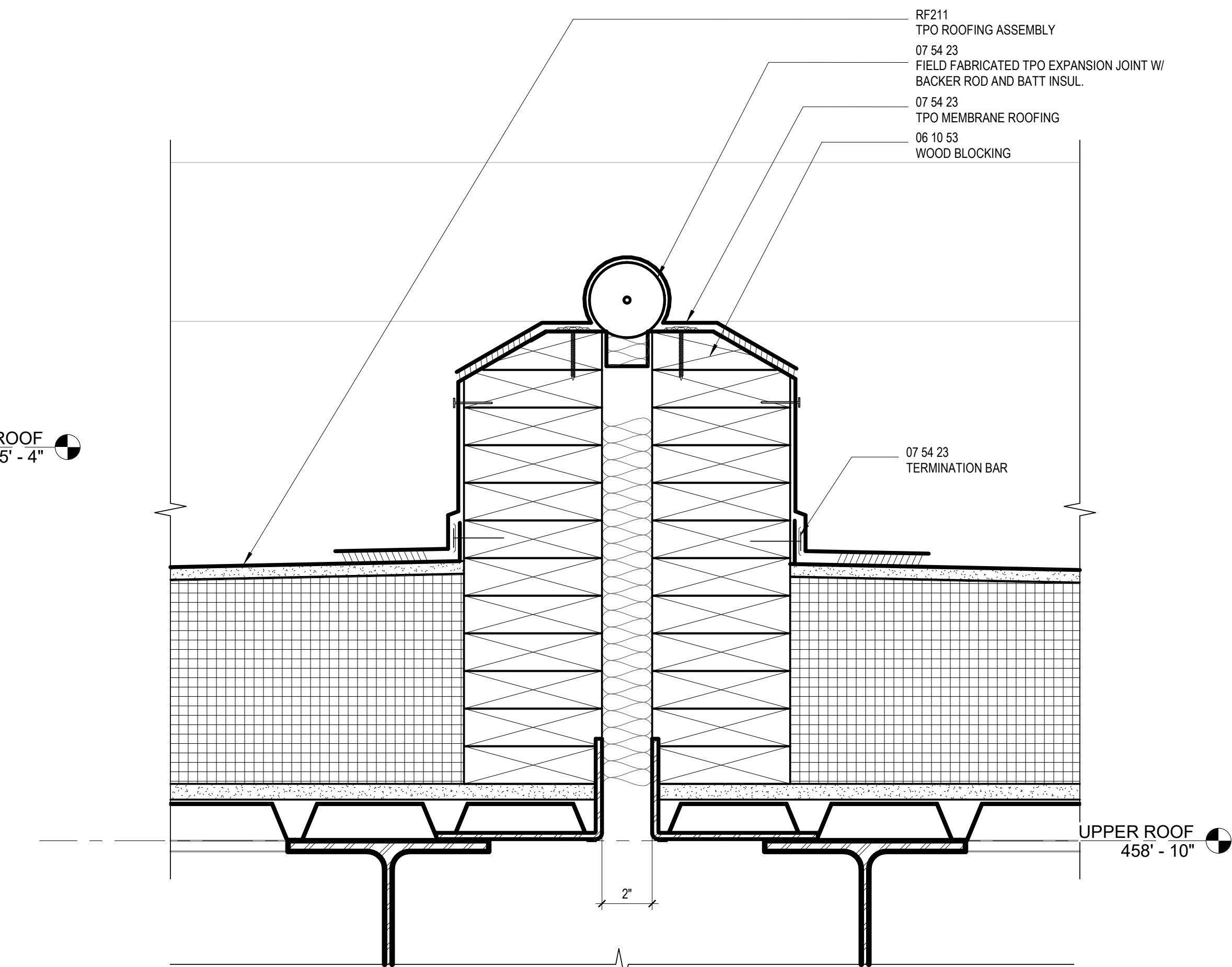
4 UPPER ROOF - EXPANSION JOINT AND PV POST
3" = 1'-0"



3 LIGHT COURT - WALL TRANSITION
3" = 1'-0"



2 LOWER ROOF - EXPANSION JOINT
3" = 1'-0"



1 UPPER ROOF - EXPANSION JOINT
3" = 1'-0"

Mann Hall Renovation

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ISSUE CHART

3	ISSUE FOR BID - PROC	01/17/2025
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Job Number		820937.001
Drawn	Author	
Checked	Checker	
Approved	Approver	
TITLE		

EXTERIOR EXPANSION CONTROL

SHEET NUMBER

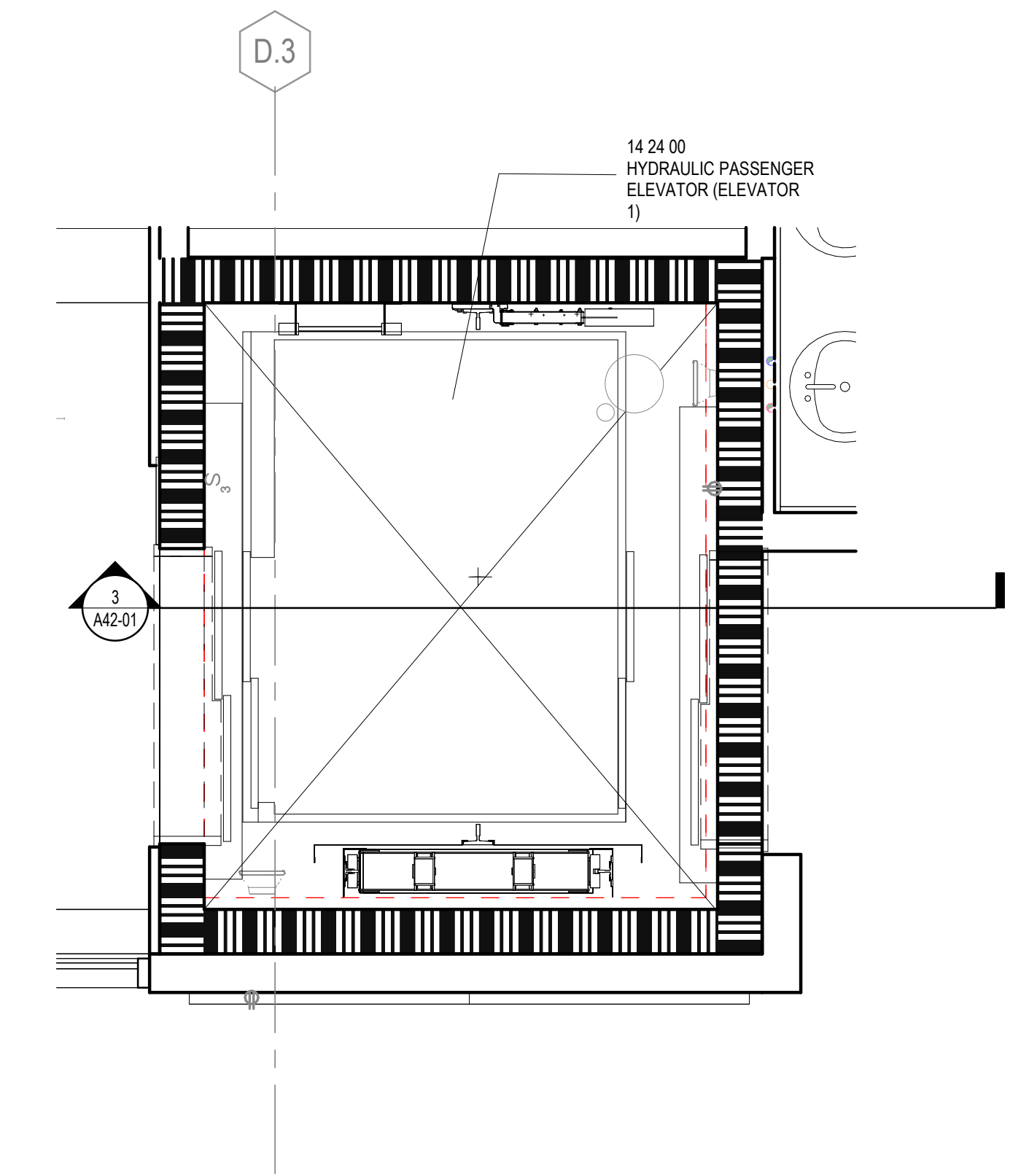
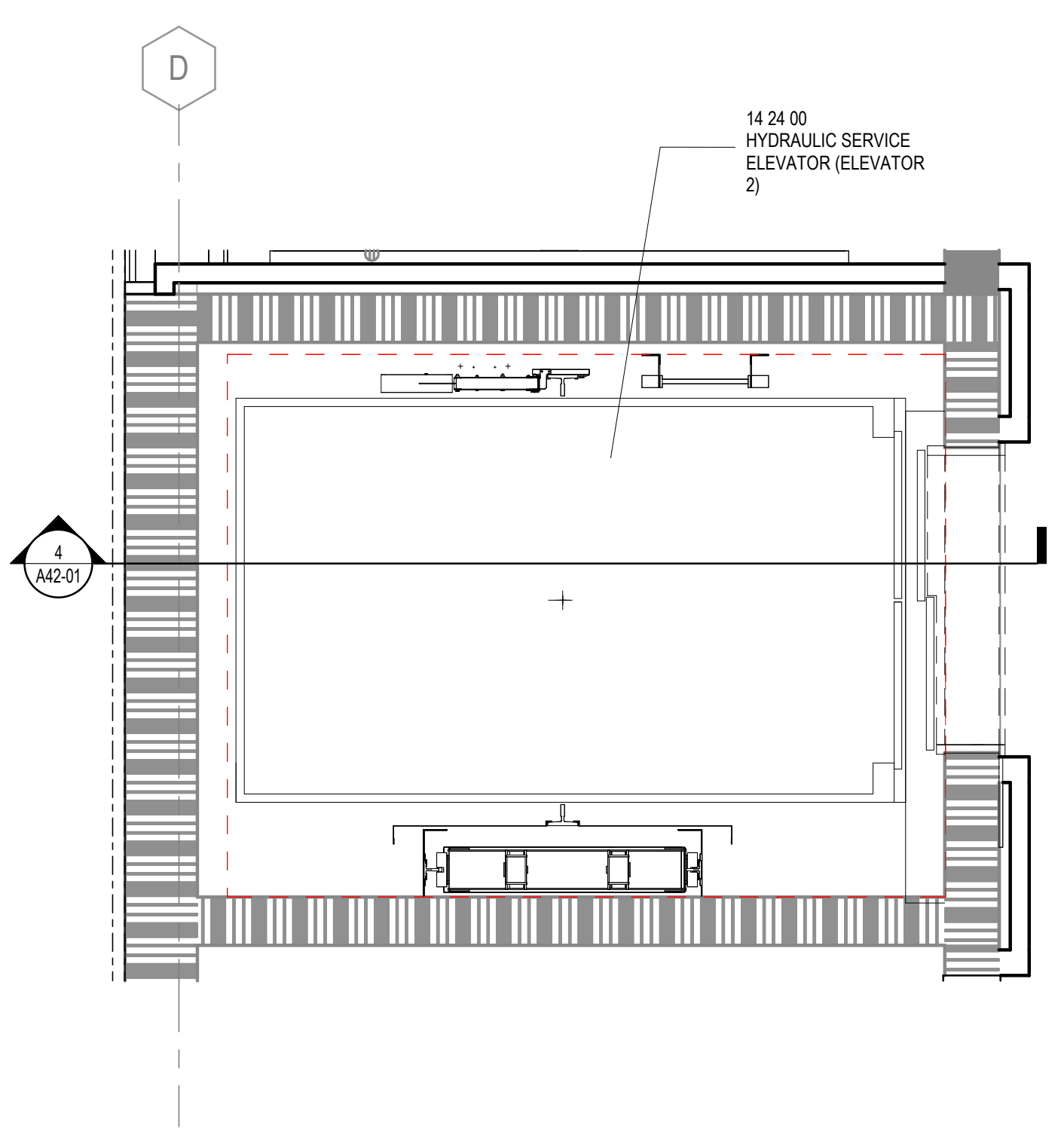
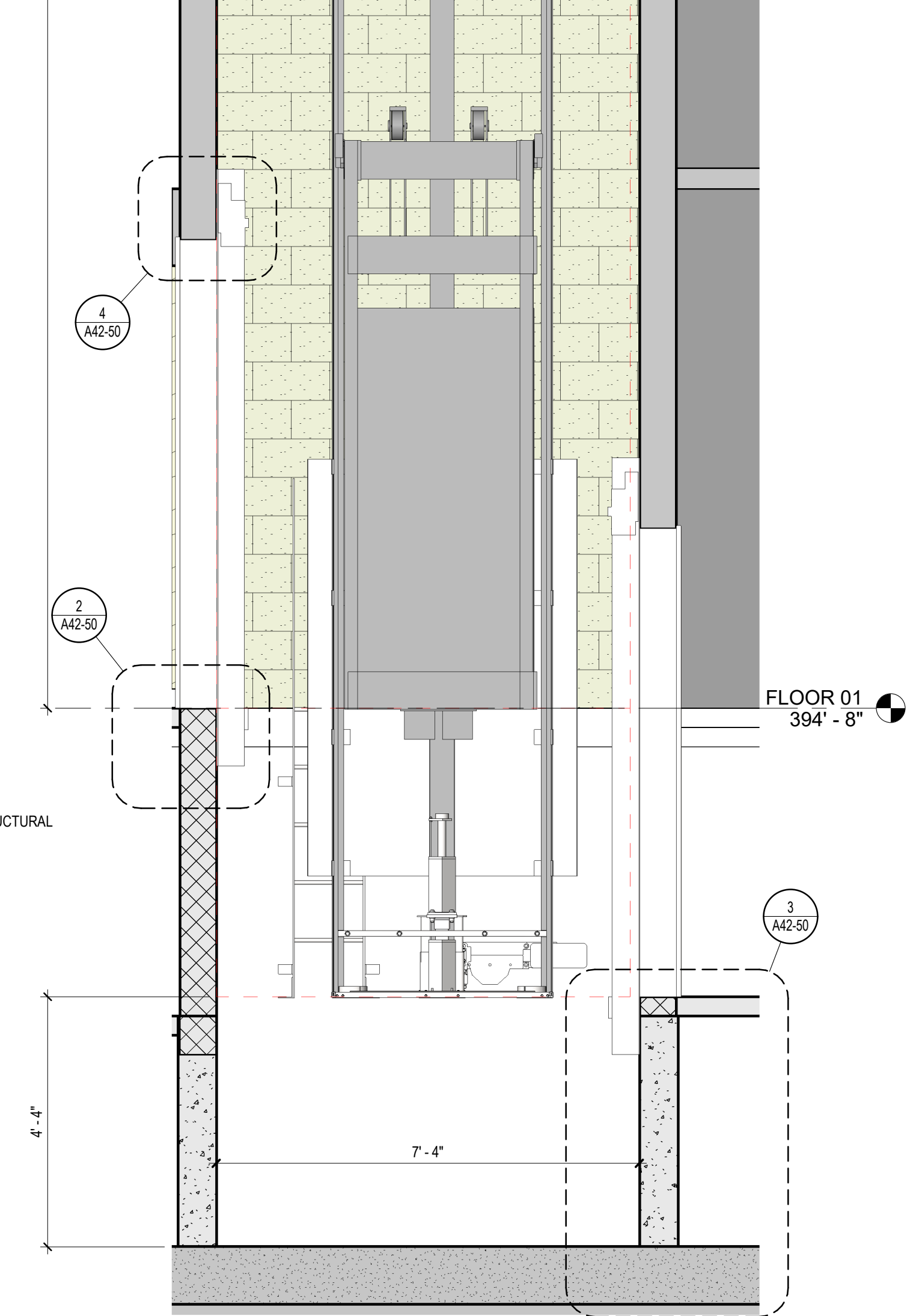
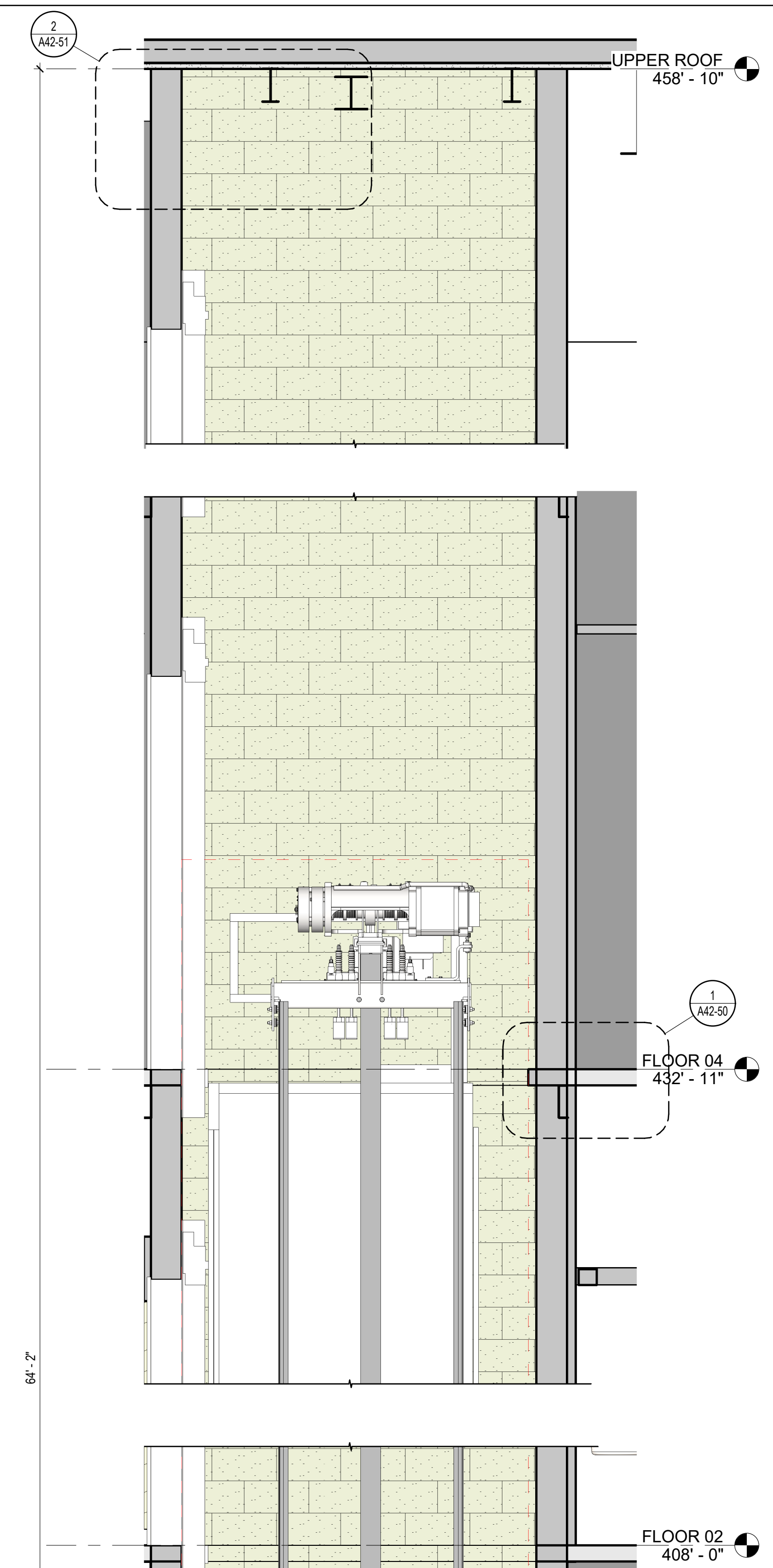
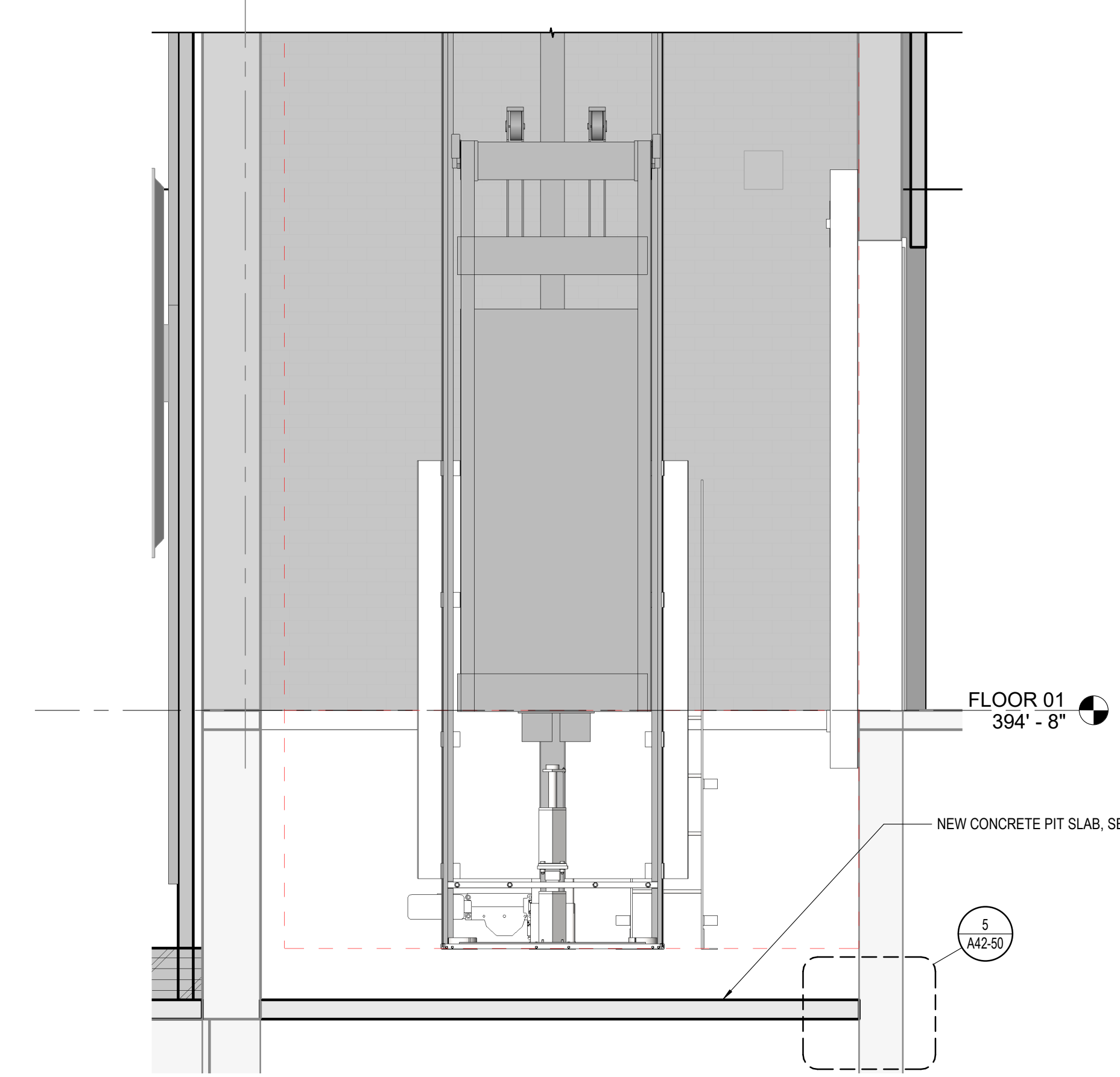
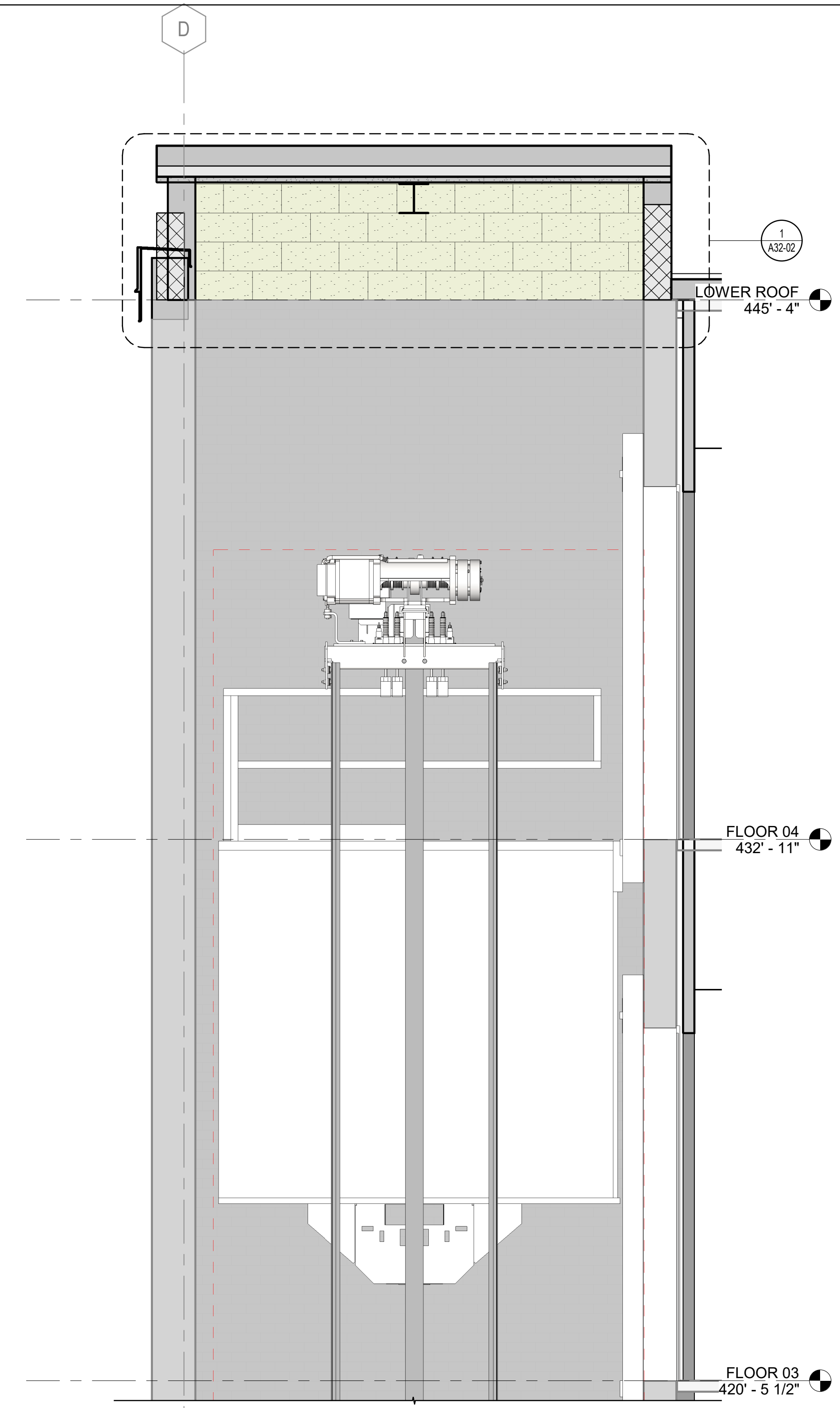
A32-10

MARK	ISSUE	DATE
Job Number	820937.001	
Drawn	Author	
Checked	Checker	
Approved	Approver	
TITLE		

ELEVATOR PLANS AND SECTIONS

SHEET NUMBER

A42-01



4 SECTION - EXISTING ELEVATOR SHAFT
1/2" = 1'-0"

3 SECTION - NEW ELEVATOR SHAFT
1/2" = 1'-0"

2 PLAN - EXISTING ELEVATOR
1/2" = 1'-0"

1 PLAN - NEW ELEVATOR
1/2" = 1'-0"

CONSULTANTS

STRUCTURAL
Lynch Mykies Structural Engineers
301 N. West Street Suite 105, Raleigh, NC 27603

MEP
Salas O'Brien
702 Oberlin Road, Raleigh, NC 27605
License (NC): F-1434
civil

NVS Engineers and Consultants
3300 Regency Parkway Suite 100, Cary, NC 27518

CONTRACTOR
Holder Construction Group
6210 Ardrey Kell Road Suite 400, Charlotte, NC 28277

AUDIOVISUAL
NVS Engineers and Consultants
4905 Professional Court, Raleigh, NC 27609

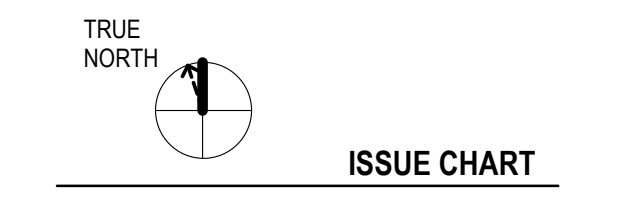
LIGHTING
Available Light
5700 Six Forks Road, Suite 203, Raleigh, NC 27609

SUSTAINABILITY
Ecoimpact Consulting
8022 Providence Road Suite 500, Charlotte, NC 28277

Mann Hall Renovation
STATE ID #22-2450-02B
NCSU PROJECT # 202220021



North Carolina State University
Facilities Division Design & Construction
Administrative Services Building III
2901 Wolf Village Way, Suite 331
Raleigh, NC 27695



3	ISSUE FOR BID - PRIC	01/17/2025
WORK ISSUE		DATE
Job Number	820937.001	
Drawn	Author	
Checked	Checker	
Approved	Approver	

EDGE OF SLAB AND SHAFT DETAILS

SHEET NUMBER

A42-50

